



# RESIDENTIAL DESIGN GUIDELINES

*Updated 5/2/16 - revised Exhibits A-3 & A-4*

~~Draft~~

## TABLE OF CONTENTS

|             |                                                              |    |
|-------------|--------------------------------------------------------------|----|
| <b>I.</b>   | <b>GENERAL INFORMATION</b>                                   |    |
| A.          | Philosophy.....                                              | 4  |
| B.          | Governance.....                                              | 5  |
| C.          | Methods.....                                                 | 5  |
| D.          | Purpose of the Covenants, Conditions, and Restrictions.....  | 5  |
| E.          | Design and Review Authority.....                             | 5  |
| 1.          | The CCRs.....                                                | 5  |
| 2.          | The Associations.....                                        | 6  |
| 3.          | The Committee(s) .....                                       | 6  |
| 4.          | Building Code.....                                           | 6  |
| 5.          | Initial Land Use Designation.....                            | 6  |
| 6.          | Local, State, and Federal Law (“Regulatory Approvals”).....  | 7  |
| 7.          | Plat.....                                                    | 7  |
| 8.          | Plan Submittal.....                                          | 7  |
| <b>II.</b>  | <b>SITE PLANNING AND SITE DEVELOPMENT CRITERIA</b>           |    |
| A.          | Lot Standards and Accessory Structures.....                  | 8  |
| 1.          | Setback Lines, Home Sizes, and Product Distribution.....     | 8  |
| 2.          | Accessory Structures.....                                    | 9  |
| 3.          | Garages and Driveways.....                                   | 10 |
| 4.          | Miscellaneous.....                                           | 11 |
| B.          | Fencing.....                                                 | 13 |
| 1.          | Required and Permitted Fences.....                           | 13 |
| 2.          | Fences by HOA.....                                           | 13 |
| 3.          | Side Yard By Homebuilder or Homeowner.....                   | 13 |
| 4.          | Front Yard.....                                              | 13 |
| 5.          | Rear Yard Access Gates.....                                  | 14 |
| 6.          | Fence Maintenance.....                                       | 14 |
| C.          | Walks and Sidewalks.....                                     | 14 |
| D.          | Lot Grading and Drainage.....                                | 14 |
| E.          | Landscaping.....                                             | 15 |
| 1.          | Materials.....                                               | 15 |
| 2.          | Approved Plant Material.....                                 | 15 |
| 3.          | Initial Construction Requirements for Landscape.....         | 15 |
| 4.          | Above Minimum Standard Landscaping.....                      | 17 |
| 5.          | Preservation Criteria.....                                   | 17 |
| <b>III.</b> | <b>ARCHITECTURE</b> .....                                    | 19 |
| A.          | Woodshore Architectural Style of Homes and Basic Design..... | 19 |
| B.          | Woodshore Thematic Zones.....                                | 19 |
| C.          | Foundations.....                                             | 22 |
| D.          | Primary Exterior Materials.....                              | 22 |
| E.          | Exterior Colors.....                                         | 23 |

|            |                                      |           |
|------------|--------------------------------------|-----------|
| <b>F.</b>  | <b>Roofs and Roof Materials.....</b> | <b>23</b> |
| <b>G.</b>  | <b>Garages.....</b>                  | <b>24</b> |
| <b>H.</b>  | <b>Windows and Doors.....</b>        | <b>25</b> |
| <b>I.</b>  | <b>Shutters.....</b>                 | <b>25</b> |
| <b>J.</b>  | <b>Solar Collectors.....</b>         | <b>25</b> |
| <b>IV.</b> | <b>EXTERIOR LIGHTING.....</b>        | <b>26</b> |
|            | <b>Appendix A – Definitions.....</b> | <b>27</b> |
|            | <b>Exhibits.....</b>                 | <b>31</b> |

## **I. GENERAL INFORMATION**

### **A. Philosophy**

Woodshore is a unique community in the Clute/Lake Jackson area in that it has been planned and developed to celebrate the open space consisting of lakes, meadows, and woods. This natural asset has been amplified through the thoughtful land planning and careful attention to details in the design of every aspect of Woodshore. Due to specific site conditions, some areas of the community will be heavily wooded while others will be less so and others subject to reforestation criteria. The different areas of the community will be visually unified through the application of specific landscape and/or tree preservation and reforestation guidelines.

Woodshore is special due to a combination of topographic relief and generous allotment of open space in excess of 20% of the total land area. The abundance of open space and creative village designs allow for the promotion of certain virtues including environmental sensitivity, family togetherness, neighborliness, respect for the land, and the appreciation of small town simplicity and functionality.

## **B. Governance**

In addition to these primary requirements, there exists the 2013 Woodshore Planned Unit Development (“PUD”) Ordinance #2013-20, as well as the Residential Design Guidelines (“RDGs”) that follow, that should be considered in the development of each homesite. During the design process for a homesite, (structures, landscaping, etc.) the Declaration of Covenants, Conditions and Restrictions (“CCRs”) and any Supplemental Covenants, Conditions and Restrictions (“SCCRs”) must be adhered to in conjunction with these RDGs. As stated in the CCRs for Woodshore, the Residential Design Review Committee (“RDRC”) shall have jurisdiction over all new construction (original home construction) activities on the lots within Woodshore. These RDGs may be revised from time to time by the Board of Directors of the Woodshore Homeowners’ Association (“HOA”). Variances to any of these RDGs may be granted by the RDRC on a case-by-case basis. For subsequent exterior construction by either a Homebuilder or Homeowner, plans shall be submitted to and approved by the RDRC pursuant to the policies and procedures provided for elsewhere herein.

## **C. Methods**

The CCRs, SCCRs, and these RDGs and other Zone Criteria have been designed to carry forward the Woodshore design philosophy while enhancing quality of life and taken together constitute the Governing Standards.

The Governing Standards pertain to all uses including single family residential, office, retail, recreational, medical and townhouse development as well as other community uses in areas subject to the CCRs and SCCRs. Separate design standards will pertain to commercial and townhouses. A list of defined terms used in these RDGs is provided in Appendix A.

## **D. Purpose of RDGs**

The purpose of these RDGs is:

- (1) To assist the Homebuilder and Homeowner and design team in achieving the desired level of site development;
- (2) To assist the Homebuilder and Homeowner in expediting the architectural review of plans by the appropriate entity by letting the Homeowner know at an early stage what information is required for the review; and
- (3) To enhance the aesthetics and provide for an orderly development of Woodshore.

## **E. Design and Review Authority**

### **1. The CCRs**

The CCRs, SCCRs, Easements, Charges and Liens of Woodshore, are recorded in the Real Property Records of Brazoria County, Texas, and are legally binding upon the developed land,

landowners and residents in Woodshore. The CCRs cover the developed property in Woodshore, and they may vary somewhat from one location to another.

The CCRs establish an “Association(s)” to administer and enforce the CCRs within the area covered by those CCRs, and “Committees” to adopt and enforce building and land development and use standards adopted by the Committee. The CCRs provide that every improvement must be approved by the Committee prior to construction, and comply with the applicable set of CCRs and RDGs adopted under the authority of these CCRs as well as the PUD zoning designation. Additional CCRs and SCCRs may be recorded in the future.

## 2. The Associations

The HOA is a nonprofit corporation established by the CCRs governing specific geographic areas in Woodshore. There may be additional associations formed in the future, established pursuant to additional recorded covenants, which may adopt these RDGs. The HOA enforces the CCRs and SCCRs, and provides many of the available services to residents and Owners in Woodshore within their specific areas.

## 3. The Committee(s)

The HOA appoints members, who are authorized by the CCRs to adopt and enforce standards governing property use and maintenance requirements, and improvements, additions, and modifications to property within the area governed by the HOA.

The design review entity or Committee for Woodshore is the Residential Design Review Committee (“RDRC”). There may be additional committees formed in the future for new associations particularly for the commercial development planned along portions of Oyster Creek Drive.

## 4. Building Code

The Committees have adopted the following codes for Residential Buildings: International Residential Building Codes, 2000 Edition, with current amendments (IRBC) (“Building Code”)

The HOA is subject to the latest edition of the City of Clute Fire Code (“Fire Code”).

All buildings must be designed in accordance with the Codes and all other applicable codes, regulations and ordinances of any other governmental entity having jurisdiction over the Property.

- (1) In the event of a conflict between Codes, the more stringent requirement will apply.
- (2) In the event of a conflict between the Codes and the RDGs, the more stringent shall apply.
- (3) In the event of a conflict between the RDGs and the CCRs, the more stringent shall apply.

## 5. Initial Land Use Designation

The recorded initial CCRs of Woodshore, as applicable, establish permissible land uses, and may set minimum and maximum building sizes and other constraints. Land uses and other site specific limitations may also be specified in land conveyance instruments. Notwithstanding the foregoing, all land uses within Woodshore must comply with the PUD zoning designation, as adopted by the City of Clute.

Woodshore land plans are shown in Exhibits “A-1” and “A-2.”

6. Local, State, and Federal Law (“Regulatory Approvals”)

In addition to city, county, state and federal laws, Velasco Drainage District (VDD), and/or other special purpose districts and regulations may apply to an improvement or project.

7. Plat

Subdivision plats (or maps of land divisions within an area) recorded in the Plat Records of Brazoria County, Texas, show individual lots, Property Lines, minimum building setback lines, utility and other easements, street access limitations and other requirements.

8. Plan Submittal

The following plans must be submitted to the RDRC for approval:

**Site Plan:** The plan showing the location of the proposed residence, any accessory structures and all other proposed improvements (including driveway, fences, swimming pools and patios) as well as proposed utility connections, drainage of the Lot and drainage from adjacent Lots and common areas.

**Exterior Elevations Plan:** The plan(s) which shall show the dimensions and gross area of each structure, include drawings and detail of all building exterior elevations, including the roof (showing elevations) and describing the color and type of all proposed exterior construction materials.

**Exterior Lighting Plan:** The plan which shall include the type, style, size, and foot candle power of all proposed exterior lighting fixtures.

**Landscaping Plan:** The plan which shall include a tree survey showing the location of all existing trees on the Lot with a caliper of 8 inches or more at the point one (1) foot above the ground which are within the footprint of or within twenty-five (25) feet of proposed improvements, including the driveway, and a drawing depicting the type, quantity, size, and placement of all exterior plant materials, including irrigation to support such landscaping.

## II. SITE PLANNING AND SITE DEVELOPMENT CRITERIA

### A. Lot Standards and Accessory Structures

#### 1. Setback Lines, Home Sizes, and Product Distribution

Front lot setback lines (or building lines) for all lots are delineated on the final plats for each residential Section. Special considerations will be given in situations where variances may be necessary due to unusual lot shape, tree preservation, severe topography or other site-specific determinants. Variances may be granted to allow a small portion of the driveway near the home to encroach within the side lot setback. Some variances will be subject to City of Clute approval. As a general rule, the lot setbacks and development standards are established as follows:

| <b>Table 1 - Summary Lot &amp; Residential Standards</b> |                                                                          |                                                                          |                            |                            |  |                  |
|----------------------------------------------------------|--------------------------------------------------------------------------|--------------------------------------------------------------------------|----------------------------|----------------------------|--|------------------|
| <b>Lot Widths</b>                                        | <b>100'</b>                                                              | <b>90'</b>                                                               | <b>80'</b>                 | <b>60'</b>                 |  | <b>Townhomes</b> |
| <b>Setback Criteria</b>                                  |                                                                          |                                                                          |                            |                            |  |                  |
| <b>Setbacks Primary Structures</b>                       |                                                                          |                                                                          |                            |                            |  |                  |
| Front Woodshore Crossing                                 | NA                                                                       | 30'                                                                      | NA                         | NA                         |  | NA               |
| Front Other Streets                                      | 30'                                                                      | 25' and 20' on cul-de-sacs                                               | 25' and 20' on cul-de-sacs | 25' and 20' on cul-de-sacs |  | 5'               |
| Side                                                     | 20' cumulative; no less than 5' on either side; homes at least 15' apart | 15' cumulative; no less than 5' on either side; homes at least 15' apart | 5'                         | 5'                         |  | 5'               |
| Rear                                                     | 10'                                                                      | 10'                                                                      | 10'                        | 10'                        |  | 5'               |
|                                                          |                                                                          |                                                                          |                            |                            |  |                  |
|                                                          |                                                                          |                                                                          |                            |                            |  |                  |
| <b>Home Size &amp; Product Distribution</b>              |                                                                          |                                                                          |                            |                            |  |                  |
| <b>Minimum House Size 1 Story</b>                        | 2000 SF                                                                  | 2000 SF                                                                  | 1800 SF                    | 1600 SF                    |  |                  |



| <b>Table 1 - Summary Lot &amp; Residential Standards</b>          |                                      |            |            |            |  |                  |
|-------------------------------------------------------------------|--------------------------------------|------------|------------|------------|--|------------------|
| <b>Lot Widths</b>                                                 | <b>100'</b>                          | <b>90'</b> | <b>80'</b> | <b>60'</b> |  | <b>Townhomes</b> |
| <b>Minimum House Size 2 Story</b>                                 | 2100 SF                              | 2100 SF    | 2100 SF    | 1700 SF    |  |                  |
| <b>Maximum House Size</b>                                         | None                                 | None       | 5000 SF    | 4500 SF    |  |                  |
| <b>Plan &amp; Elevation Repetition</b>                            |                                      |            |            |            |  |                  |
| Same Plan<br>same<br>elevation<br>same side of<br>street          | 4 lots between; use different colors |            |            |            |  |                  |
| Same Plan<br>same<br>elevation<br>opposite side<br>of street      | 4 lots between; use different colors |            |            |            |  |                  |
| Same Plan<br>different<br>elevation<br>same side of<br>street     | 2 lots between; use different colors |            |            |            |  |                  |
| Same Plan<br>different<br>elevation<br>opposite side<br>of street | 2 lots between; use different colors |            |            |            |  |                  |

## 2. Accessory Structures

a) Accessory structures are permitted in rear yards only. Accessory structures for uses such as a single-story guest house (limited to 90' and 100' lots), summer kitchens, gazebo/pavilion type structures etc. are permitted. Accessory structures must complement the colors and materials of the primary home. The grouping of structures shall be done in a manner that considers the visual effects on the surrounding landowners with regards to elevational aesthetics, materials and detailing. All accessory structures must be reviewed and approved by the RDRC prior to construction.

b) Subject to RDRC approval, metal and plastic storage sheds may be permitted in rear yards only, but not to be visible to adjoining lots, parks and open spaces or street rights of way.

### 3. Garages and Driveways

#### a) Materials

Garage materials should generally reflect the associated house materials. Main walls and roof are to be the same materials. Driveways shall be reinforced concrete or colored special paving with RDRC permission. In no case may a material other than plain poured in place reinforced concrete be used between the sidewalk and the street.

#### b) Driveway Widths

Front loaded 2 car garage maximum 18' wide at curb and garage; front loaded 3 car garage maximum 27' at curb and garage; rear loaded garages maximum of 12' wide at curb. Swing in garages widths at garage same as attached and curb width maximum 12' wide. Driveways passing under a portion of the house into an auto court may be a minimum of 10' under the house. No paving other than the driveways permitted herein and a 4' maximum width concrete walk from the house to the driveway and/or the street sidewalk. Driveway may "flair out" 24" on each side where it meets the street.

#### c) Driveway Curb Cuts

One driveway curb cut is allowed per lot.

#### d) Driveway Locations

Driveways may be no closer than 5' from property line and 3' from property line at curb. 90', 80', and 60' products shall have a 2' planting area between driveway and house for rear-loaded garages. Variances may be granted to allow driveway encroachments into side lot setbacks but in no case can drainage be adversely affected by the driveway intrusion into the side setback(s).

#### e) Mirrored Driveway Mitigation

A single row of evergreen shrubs must be planted 3' off of one driveway edge from 10' back of property line to the garage face.

#### f) Corner and Open Space Lots

Garage should be placed on the opposite property line from the corner street, and on the opposite property line from open space.

#### g) Mirroring

Driveways are generally limited to one mirroring per block length. Where special conditions occur such as specimen trees to be saved or mid-block open spaces, more than one driveway mirroring may be permitted.

#### h) Side Loaded Garages

Permitted if garage is in rear of house. Where rear side loaded garage is used and driveway impacts the forested conditions, the Homebuilder must preserve side and rear forested areas if they exist. The RDRC may deny such drive access if in the opinion of the RDRC the

driveway will destroy desirable specimen trees. A tree survey shall be submitted to the RDRC coincident with the request for building siting and side garage access.

i) Swing in Garages

Swing in garages are permitted.

4. Miscellaneous

a) Air conditioning pads: Air conditioning condenser pads must be located behind a side yard fence or landscape buffered with evergreen shrub hedge.

b) Utility meters: Utility meters must be located at least 8' behind front face of house and foundation plant below meter(s).

c) Satellite dishes: Satellite dishes and antennas must comply with Federal Communications Commission guidelines and regulations. All radio frequency receiving devices of any configuration and type must be erected behind the home and not protrude above the roof line(s) of the primary structure/house. Every reasonable effort possible must be made to limit the views to these devices from adjacent properties. Corner lots shall not install such devices closer to the corner street than the mid point of the primary structure/house.

d) Swimming pools: Swimming pools must be in ground and in conformance with all Brazoria County and City of Clute regulations. The pool or pool deck cannot be located within the side and rear yard setbacks. All associated equipment including pool pumps, filters, diving board, waterfall/feature and other similar elements shall be screened from parks and open spaces, public right of ways and adjoining properties' view. Unique site conditions causing Homeowner hardship may be reason for the RDRC to grant a variance, subject to City of Clute approval, with regards to deck encroachment into setbacks.

e) Sports equipment: Sports nets, poles, and other such equipment shall be stored within the fenced side and/or back yard of the home when not in use. Basketball backstops and nets may be permanently attached to rear located detached garages.

f) Address plaques: Lot addresses must be displayed on the home near the front door. All residences must have cast stone address numerals incorporated into the brick on the front facade of the residence as illustrated on Exhibit "B."

g) Items to be screened: The following items must be screened from the road right-of-way with a vegetative hedge or other RDRC approved method: "Non-natural wood" colored playground equipment (variances may be granted for toddler's equipment); pet enclosure; air conditioning condensers and other mechanical equipment; propane tanks used for outdoor kitchens or barbecues; exterior light sources if not concealed by fixture design, swimming pools; and other permitted vehicles if any.

h) Chimneys: Exterior fireplaces and chimneys shall be constructed of masonry, or masonry like materials including Hardi Plank. Chimneys shall extend a minimum of 4' above the roof

line or be 2' higher than required by the IRBC. All chimneys constructed for fireplaces, stoves, etc. that burn wood, alternate wood products, coal, charcoal burning and or combustible materials other than natural gas or propane, should have spark arrestors.

i) Vegetable gardens: RDRC approval is not required if located in rear or side yards so that both the garden and its accessory operating areas are screened from view of the first floor of adjacent homes, public areas and public open spaces and parks. If visible to adjacent properties, vegetable gardens should not have excessive weeds, and plants should be removed at the end of each growing season. Tall plants, such as corn and sunflowers, shall be completely screened from view from public rights-of-way.

j) General easements: A lot may have easements for drainage, utilities, or in unusual circumstances special access. Easements will be designated on a recorded plat or in the SCCRs. All power lines, telephone lines, cable lines, etc. must be underground on any portion of a lot except for Centerpoint Energy primary distribution lines which shall be approved by the Developer.

k) Mailboxes: Community mailboxes will be provided by the Developer and located in a manner to provide a balance of convenience and privacy to adjoining Homeowners.

l) Birdhouses and feeders: Woodshore possesses a diverse natural habitat visited annually by migrating songbirds. Subject to RDRC approval, the installation of bird houses, particularly those designed to attract Purple Martins is encouraged in the backyards of homes. Additionally, song bird feeders are also encouraged. Each Homeowner erecting either feeders or birdhouses shall be responsible for the maintenance of the devices including repairs, painting and "righting" of support posts.

m) Front yard improvements: The front yard of a home is typically a source of pride and an area where Homeowners desire a "higher finish" than in other parts of the lot. The front yard is also a part of the "public domain" in that it is visible to the public right of way (street) and forms a part of the overall community image and character. For this reason, high degrees of personalization with regard to "fixtures" such as statuary, birdbaths, arbors and other forms of garden ornament are prohibited. Benches on porches and behind hedges are permitted.

n) Front yard planting: The use of exotic tropical materials, either fruit bearing or not, such as banana trees, Sago Palms, Queen Palms, Washingtonia Robusta palms, Bamboo and other materials not capable of withstanding the occasional prolonged hard freeze conditions experienced in the region are not permitted.

o) Bulkheading: Homeowners backing up to a lake have the option of bulkheading their lot water frontages. If elected by the Homeowner or Homebuilder, the bulkheading must be constructed in appearance consistent with the Woodshore approved bulkhead design depicted on Exhibit "C." All costs, regulatory permitting and bulkhead engineering associated with bulkheading a lot, must be borne by the Homeowner or Homebuilder. The bulkheading must terminate at the property line of the Homeowner or Homebuilder's lot. The life maintenance of the bulkhead is also the sole responsibility of the Homeowner or Homebuilder.

p) Docks: Homeowners backing up to lakes have the option of constructing a dock on their lot water frontages. If elected by the Homeowner or Homebuilder, the dock must be constructed in size and appearance consistent with the Woodshore approved Homeowner Dock Design depicted on Exhibit "D." All costs, regulatory permitting and dock engineering associated with the dock must be borne by the Homeowner or Homebuilder. The placement of the dock on a lot should be located generally in the middle of the lot. The life maintenance of the dock is also the sole responsibility of the Homeowner or Homebuilder.

## **B. Fencing**

1. Required and Permitted Fences: Exhibit "A-4" illustrates the location and approximate extent of the required fencing for the different lot types. Rear yard fences are to "meet" side yard fences. In the case of Woodshore Crossing and Woodridge Crossing, front yard fences are to meet side yard fences on the side of the lot opposite the driveway. Rear yard metal picket fences shall turn up the side property lines 30' and then "meet" either a "Woodshore Crossing" fence or an interior side fence. Construction detail sheets are available from the Declarant.

See Exhibits "E-2-a" (typical wood fence) and "E-2-b" (metal rear yard fence) for fence types. Exhibit "E-3" depicts the fence detail for open space lots, and illustrates the 4' metal-to-6' wood fence transition.

2. Fences by HOA: The HOA may at its sole discretion erect fences or walls along side and rear property lines of lots. Typically, these will be located outside of a residential lot but in some cases, such fences or walls may fall "on the lot line". Homeowners may not attach structures, cabling, or vines to a HOA constructed fence or wall. Fence materials and dimensions will vary by location. Locations of HOA fences will be shown in the SCCRs.

3. Side Yard By Homebuilder or Homeowner

a) Materials: Lot perimeter fences shall be constructed of "rite-wood," unless otherwise approved by the RDRC, and shall be 6.5' tall (with rot board), single-faced with 1"x4" pickets placed side-by-side. The top of the fence shall have a 2"x6" "cap" as illustrated on Exhibit "E-2-a". Fence posts shall be 4"x4" cedar, treated pine, or "rite-wood," set in concrete and spaced no more than eight (8) feet apart. All wood fences shall be painted or stained per Exhibit "E-2-a."

b) Location-Layout: For interior lots, fences must stop a minimum of 10' back from building front face. Side fences shall be constructed as "Good Neighbor" fences with alternating picket locations. Along streets and open spaces, all fences shall be constructed with boards face out. For corner lots, the fence must stop 5' back of the property line, and must not extend in front of the rear corner of the home.

4. Front Yard: Front yard fences are not permitted.

5. **Rear Yard Access Gates:** All houses shall provide a minimum 3' solid wood self-closing and latching gate access to side yard preferably on garage side of house. In addition to the rear yard access from the front yard, lots whose rear lot lines abut a park or open space may have a 4' wide self latching and closing access gate to such park or open space areas. The gate shall be constructed of the same materials as the fence and detailed consistent with the fence.

6. **Fence Maintenance:** All fences, whether constructed by the Homeowner or the Homebuilder, shall be maintained consistent with the RDGs. In the event a fence or wall is damaged or destroyed, the Homeowner shall repair or recondition the same at Homeowner's expense within three (3) weeks of the damage. Swimming pool fences must conform to Brazoria County and/or the City of Clute regulations.

### **C. Walks and Sidewalks**

1. See Exhibit "A-3" for the Woodshore Trail and Sidewalk Plan. The "H" Exhibits illustrate sidewalk details, ramp details, and fence and sidewalk layout criteria. All sidewalks must be 4' wide. Homebuilder shall construct sidewalks and wheelchair ramps (sidewalk ramps) in accordance with City of Clute standards. Concrete sidewalks must be constructed along the entire front of interior and corner lots, and side width of corner lots (including wheelchair ramps), running parallel to the street and located within the street right-of-way, at the property line. This shall include sidewalks on the sides of corner lots, connecting sidewalks on adjacent lots, gaps in the back of cul-de-sacs and gaps caused by easements between lots or platted access points (but only to a maximum of 50% of the length of the open space contiguous frontage) so that areas between lots have connected sidewalks. In addition, the Homebuilder shall be responsible for connecting sidewalks between lots, to community walking paths (if any) and across gaps caused by easements or access ways (if any).

2. Sidewalks are to be concrete, and front yard walks either concrete or special paver on concrete base subject to RDRC approval.

### **D. Lot Grading and Drainage**

1. In general terms, all lots should have positive drainage (1% slope) away from the house, and lots must drain to a drainage system provided for each lot. In many situations, the natural or man-made drainage patterns for an individual lot and the neighborhood as a whole may cause adjacent properties to commingle storm water runoff in common drainage areas such as yard swales that are discharged into the permanent access and utility easement and storm water collection system. Homeowners must ensure that the placement of any improvements or landscaping does not materially impede water flow in common drainage areas. Beyond the natural drainage patterns, Homeowners may not significantly increase the amount of water flowing onto an adjacent lot nor may they block the normal flow from an adjacent lot into a common drainage area. Homebuilders have the option to install individual lot drains or multiple lot drains. If multiple lot drains are constructed, the Homebuilder must dedicate an easement to the HOA for storm drain maintenance.

2. On each lot, a 3' side lot drainage easement and a 5' drainage easement along rear property lines are hereby reserved in favor of the Declarant and HOA for drainage purposes. This is addressed in the SCCRs for each section.
3. The use of berms is not permitted in areas of lot visible to streets.
4. Tree preservation: In as much as possible, existing trees shall be preserved in the front yards of all homes. Consideration should be given to the health of the trees and their proximity to the building foundation(s). It is strongly recommended that rear yard trees also be preserved where feasible. In particular, the houses fronting Woodshore Crossing have been given deep setbacks and are specifically planned in this way to enable the preservation of the forested character of the site through front yard tree preservation. Tree preservation may have an impact on lot drainage. If tree preservation on a lot is a goal, drainage must be designed to maintain the natural ground elevations and natural drainage patterns as much as possible. I.e., Fill dirt should not be placed under the drip line of a tree that is to be preserved.

#### **E. Landscaping**

1. The landscaping materials for Woodshore are to be dominantly native and/or drought tolerant.
2. The list of preferred plant species, i.e. shrubs and plants, ground cover and vines, trees, perennials, lawns, etc. is contained in the Woodshore Approved Plant Material List, Exhibit "F". Additional plant species may be approved upon RDRC approval.
3. Initial Construction Requirements for Landscape.
  - a) Homebuilders must submit proposed landscaping design packages that relate to specific home elevations. The packages may include restrained hardscape materials including limited amounts of rock and stone. Landscaping plans shall be reviewed by the RDRC.

Tables 2, 3, and 4 below summarize the minimum quantity, sizes and maximum number of species by plant type for both interior and corner lots for the Initial construction by the Homebuilder for 100', 90', 80', and 60' wide lots. In terms of plant material location, front landscaping beds may extend no more than 12 feet on 100' lots, 10 feet on 90' and 80' lots, and 8' on 60' lots, from the front face of the home.

**Minimum Plant Sizes and Quantities by Type****Table 2. 90-100' Wide Lots**

| Type                                      | Size        | Quantity Interior Lot    | Max. Number species | Quantity Corner Lot               | Max. Number species |
|-------------------------------------------|-------------|--------------------------|---------------------|-----------------------------------|---------------------|
|                                           |             |                          |                     |                                   |                     |
| <b>Front Street - Tree</b>                | 30 gal.     | 2                        | 1                   | 2                                 | 1                   |
| <b>Side Street - Tree</b>                 | 15 Gal.     | 0                        | 1                   | 2                                 | 1                   |
| <b>Front Yard Ornamental Tree*</b>        | 15 Gal.     | 2                        | 1                   | 2                                 | 1                   |
| <b>Front Yard Canopy Trees deciduous*</b> | 15 Gal.     | 2                        | 2                   | 4                                 | 2                   |
| <b>Front Yard Canopy Trees evergreen*</b> | 15 Gal.     | 3                        | 1                   | 5                                 | 1                   |
| <b>Shrubs</b>                             | 5 Gal.      | 30                       | 3                   | 35                                | 3                   |
|                                           | 15 Gal.     | 2                        | 2                   | 3                                 | 2                   |
| <b>Ground Cover/Ornamental Grass</b>      | 1 Gal.      | 35                       | 3                   | 45                                | 2                   |
| <b>Turf</b>                               | Bermuda Sod | Front of side yard fence | 1                   | Plus side yard facing side street | 1                   |

**Table 3. 80' Wide Lots**

| Type                                 | Size        | Quantity Interior Lot    | Max. Number species | Quantity Corner Lot               | Max. Number species |
|--------------------------------------|-------------|--------------------------|---------------------|-----------------------------------|---------------------|
|                                      |             |                          |                     |                                   |                     |
| <b>Front Street Tree</b>             | 30 gal.     | 2                        |                     | 2                                 | 1                   |
| <b>Side Street Tree</b>              | 30 gal.     | 0                        | 1                   | 2                                 | 1                   |
| <b>Front Yard Ornamental Tree*</b>   | 15 Gal.     | 2                        | 1                   | 3                                 | 1                   |
| <b>Front Yard Canopy Tree*</b>       | 15 Gal.     | 2                        | 1                   | 2                                 | 1                   |
| <b>Shrubs</b>                        | 5 Gal.      | 25                       | 3                   | 35                                | 3                   |
|                                      | 15 Gal.     | 2                        | 2                   | 3                                 | 2                   |
| <b>Ground Cover/Ornamental Grass</b> | 1 Gal.      | 20                       | 1                   | 30                                | 2                   |
| <b>Turf</b>                          | Bermuda Sod | Front of side yard fence | 1                   | Plus side yard facing side street | 1                   |



**Table 4. 60' Wide Lots**

| Type                                 | Size        | Quantity Interior Lot    | Max. Number species | Quantity Corner Lot               | Max. Number species |
|--------------------------------------|-------------|--------------------------|---------------------|-----------------------------------|---------------------|
|                                      |             |                          |                     |                                   |                     |
| <b>Front Street Tree</b>             | 30 gal.     | 2                        |                     | 2                                 | 1                   |
| <b>Side Street Tree</b>              | 30 gal.     | 0                        | 1                   | 2                                 | 1                   |
| <b>Front Yard Ornamental Tree*</b>   | 15 Gal.     | 2                        | 1                   | 3                                 | 1                   |
| <b>Front Yard Canopy Tree*</b>       | 15 Gal.     | 1                        | 1                   | 2                                 | 1                   |
| <b>Shrubs</b>                        | 5 Gal.      | 20                       | 1                   | 30                                | 1                   |
|                                      | 15 Gal.     | 1                        | 1                   | 2                                 | 2                   |
| <b>Ground Cover/Ornamental Grass</b> | 1 Gal.      | 10                       | 3                   | 15                                | 2                   |
| <b>Turf</b>                          | Bermuda Sod | Front of side yard fence | 1                   | Plus side yard facing side street | 1                   |

b) All street trees are to be live oaks, unless otherwise approved by the RDRC. Note that the determination of where front yard ornamental or canopy trees are to be located is documented on the landscape plan for that lot. The presence of front yard specimen trees on a lot will fulfill the front yard tree requirement for that lot. The street tree requirement must still be met unless the presence of existing specimen trees prevents the planting of new street trees.

#### 4. Above Minimum Standard Landscaping

In the event that the Homebuilder or a Homeowner desires to landscape a lot in excess of those minimum standards, such landscaping shall conform to all of the standards laid out under this Section E "Landscaping." Of particular concern is the limitation on the number and types of species, extent of the beds into the front lawn area and the mix of plant types.

Other than along street edges of corner lots, the rear yards are not restricted with respect to plant material, type and quantities other than every rear yard shall be "covered" in a maintainable and aesthetically acceptable manner to the RDRC, and that said planting shall conform to the Woodshore Approved Plant Material List.

#### 5. Preservation Criteria

a) Homebuilders, wherever possible, must plan to preserve significant stands of existing trees and specimen trees over 8" in caliper.

b) Substantial stands of mature trees exist on many of the lots in Woodshore. This vegetation is to be protected during construction and is to be integrated into the final landscape treatment to the maximum extent practical. Preservation areas within a lot should be protected using 7' metal "T"-Posts and orange snow fencing as close to the drip line of the

trees being protected as possible. Construction vehicles, materials and debris must be kept out of all preservation areas.

c) Any tree clearing five feet beyond the building pad or five feet beyond the driveway requires the written approval of the HOA. Temporary fencing is to be furnished and installed by the builder immediately after clearing but prior to beginning form work for the slab, in order to protect easily damaged vegetation.

d) The natural vegetation must be supplemented with appropriate landscaping so as to present a completed appearance which should include sodding, seeding, pine bark or planting to cover bare or erosion prone areas.

e) In keeping with Woodshore's commitment to the natural environment, native plant material should be utilized for all landscape efforts. A list of trees and shrubs is provided in Exhibit "F."

f) The installation of a landscape irrigation system for all newly landscaped reforested areas is encouraged.

### III. ARCHITECTURE

#### **A. Woodshore Architectural Style of Homes and Basic Design**

In general, it is not the intent of these standards to dictate specific architectural styles that must be used within the Community, but rather to give the Homebuilders a set of guidelines that will provide flexibility while achieving continuity and harmony. While not specifying a particular style, the home designs should be simple and restrained. Asymmetrical “rural small town” Colonial National, Craftsman & Prairie Style, Gulf Coast “Cracker” and Plantation architectural styles are preferred to symmetrical, formal and more urban or “Neo-Classical” plans and elevations.

The combining of various exterior building materials, the use of gable roofs of various colors and the construction of front porches are strongly encouraged. It is important to provide visual order and harmony in the overall house design. Visually confusing, loud or disordered facades (including roof forms, massing, window and door shapes and sizes) should be avoided. It is important that the general proportions of the home, including the windows, doors, and other exterior architectural elements result in a harmonious overall composition.

The RDRC strongly encourages Homebuilders to embrace the inclusion of substantial front porches into the design and construction of homes. “Livable” front porches promote community interaction, and convey a warm, inviting atmosphere and neighborliness.

The main entrance of the home should have a sense of prominence that is reflected in the design. An entrance proportioned to convey a sense of human scale is more appropriate than one with vertically exaggerated dimensions.

Architectural styles such as French renaissance, Italian renaissance, Tudor or other non-contextual styles are not appropriate in Woodshore.

#### **B. Woodshore Thematic Zones**

The positioning of Woodshore will be enhanced through the establishment of Thematic Zones in two key community areas. Those areas are Woodshore Crossing, south to and through the roundabout to Lake Bend and the southern roundabout fronted by 100’ wide lots.

**Entry and Park Circle Zones:** The fronting houses along the Woodshore Crossing and southern roundabout are on 90’ and 100’ wide lots with 30’ front setbacks. Thereby a distinctive and prominent appearance will be enriched through the coordination of the home designs within these zones. The Homebuilder is to closely coordinate the exterior materials, roof forms, window types, garage doors and masonry colors and patterns to achieve a unified but not repetitive streetscape. It is expected that there may be different emphasis and stylistic detail used in these zones. The Homebuilder is strongly encouraged to use closely compatible masonry stone or cultured stone, to the Woodshore community entries on the homes within the entry zone.

| <b>Table 5 - Architecture</b>              |                                                                                                                                                                                                                                                                                                                               |                                                                                                                                                                                                                                                                                                                               |            |
|--------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------|
| <b>Lot Widths</b>                          | <b>100-90'</b>                                                                                                                                                                                                                                                                                                                | <b>80'</b>                                                                                                                                                                                                                                                                                                                    | <b>60'</b> |
| <b>Exterior Materials</b>                  |                                                                                                                                                                                                                                                                                                                               |                                                                                                                                                                                                                                                                                                                               |            |
|                                            |                                                                                                                                                                                                                                                                                                                               |                                                                                                                                                                                                                                                                                                                               |            |
| <b>Masonry/Brick Requirements</b>          |                                                                                                                                                                                                                                                                                                                               |                                                                                                                                                                                                                                                                                                                               |            |
| Corner Lots & Lots<br>Siding Open Space    | One Story-85%<br>Two Story-65%<br>Brick or stone with some stucco should be predominant on street front elevation. Well designed and detailed shiplap or other traditional siding designs combined with traditional timber and or stone detailing/accents may be acceptable. Gable ends should be well detailed. Dormers NIC. | One Story-80%<br>Two Story-60%<br>Brick or stone with some stucco should be predominant on street front elevation. Well designed and detailed shiplap or other traditional siding designs combined with traditional timber and or stone detailing/accents may be acceptable. Gable ends should be well detailed. Dormers NIC. |            |
| Interior Lots                              | One Story-85%<br>Two Story-65%<br>Brick or stone with some stucco should be predominant on street front elevation. Well designed and detailed shiplap or other traditional siding designs combined with traditional timber and or stone detailing/accents may be acceptable. Gable ends should be well detailed. Dormers NIC. | One Story-80%<br>Two Story-60%<br>Brick or stone with some stucco should be predominant on street front elevation. Well designed and detailed shiplap or other traditional siding designs combined with traditional timber and or stone detailing/accents may be acceptable. Gable ends should be well detailed. Dormers NIC. |            |
| Garages Front                              | Must match main house in material and detail. Garage doors should be a "carriage" style that breaks down the doors into the appearance of bays or individual garage doors rather than a continuous unbroken plane.                                                                                                            |                                                                                                                                                                                                                                                                                                                               |            |
| Garages Rear                               | Do not have to be predominantly masonry.                                                                                                                                                                                                                                                                                      |                                                                                                                                                                                                                                                                                                                               |            |
| Rear                                       | 25'                                                                                                                                                                                                                                                                                                                           | 20'                                                                                                                                                                                                                                                                                                                           | 20'        |
| <b>Exterior Material Palette &amp; Mix</b> |                                                                                                                                                                                                                                                                                                                               |                                                                                                                                                                                                                                                                                                                               |            |

| <b>Table 5 - Architecture</b>       |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |            |            |
|-------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------|------------|
| <b>Lot Widths</b>                   | <b>100-90'</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            | <b>80'</b> | <b>60'</b> |
| Walls                               | Predominant materials limited to three NIC, trim, windows & doors. Half timber walls are not permitted.                                                                                                                                                                                                                                                                                                                                                                                                                                                   |            |            |
| Stucco                              | Stucco Board is not permitted. Materials and methods must meet Cement & Plaster Institute (CPI) standards or better.                                                                                                                                                                                                                                                                                                                                                                                                                                      |            |            |
| Siding                              | All siding must be Hardi-Plank or equal. Hardi Plank paneling without expressions of unit size lumber is not permitted. Metal, vinyl and aluminum are not permitted.                                                                                                                                                                                                                                                                                                                                                                                      |            |            |
| Wood Trim                           | Where used, must be Number 2 finish grade or better and must be primed and painted or sealed and stained. Medium density overlay (MDO) exterior grade is acceptable.                                                                                                                                                                                                                                                                                                                                                                                      |            |            |
| Stone & Cultured Stone              | The use is encouraged on all homes.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |            |            |
| Brick                               | Sand formed, solid and muted colors are preferred. Wire cut multi colored brick are not permitted. Distressed finishes are not permitted.                                                                                                                                                                                                                                                                                                                                                                                                                 |            |            |
| Mortar Joints                       | Mortar colors shall be in gray or sand tones. Joints may not be "slump" type finish.                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |            |            |
| <b>Porches &amp; Bay Windows</b>    | The inclusion of porches is encouraged. Where used, a depth sufficient to allow for furniture and walking space is preferred over shallow depth non-usable visual appendages. Generally a 6' depth is the minimum permitted unless a unique design or use is intended. Columns, roof slope and roof materials can in combination provide a unique appearance and curb appeal. Bay windows may use unique colors or materials to accent the related house elevation.                                                                                       |            |            |
| <b>Roofing Materials Prohibited</b> | Built-up, wood shingle and any primary colored material. Interconnecting roofs must be of the same material and color.                                                                                                                                                                                                                                                                                                                                                                                                                                    |            |            |
| <b>Building Massing</b>             | Generally, the building mass should be "broken up" through a combination of roof forms and floor plan configuration. It is understood that a "box" plan is preferred from the perspective of efficiency but the reverse is generally preferred from the perspective of the streetscape. Each Homebuilder is expected to balance these sometimes conflicting objectives through it's own creative resources. In so doing, the economy of plan and visual interests will both be served. Wherever possible avoid weakly detailed elevations on corner lots. |            |            |
| <b>Corner Lots</b>                  | The RDRC will look closely at the floor plans and elevations proposed for corner lots and reject any house plans that do not balance the needs of efficiency with that of an attractive streetscape. One story masses on corner lots are preferred where possible. The materials for a corner house should carry the front elevation materials and details around the side street elevation. Similarly, the landscape plans for corner lots should be exemplary in design and material selection and compliment the chosen floorplan.                     |            |            |

**C. Foundations**

All building foundations shall consist of either concrete slabs, pier and beam, unless a different type of foundation is approved due to special or unusual site conditions.

The RDRC is primarily concerned with the front elevation condition and will look at variances on the rear where steep grades occur and where site grading can assure that proper drainage away from the foundation (+/- 5%) in the first ten feet can be accomplished.

Homebuilders and Homeowners are required to provide to a Buyer a final form survey prepared by a Registered Public Surveyor certifying that the foundations of all buildings constructed on lots have been constructed in conformance with the regulatory requirements, these RDGs and the CCRs and SCCRs with regards to building placement and slab(s) elevations.

At no point along the perimeter of the house/garage slab shall the top of the finished floor elevation be less than 12" above natural grade, nor if the lot elevation is relatively flat. All finished slabs shall also be a minimum of one (1') foot above the FEMA 100 year base flood elevation and all structural improvements must comply with minimum Brazoria County flood plain building requirements. No more than 14" vertical dimension of any concrete foundation is to be exposed to view from the street.

The Declarant, HOA, and or other governmental authorities having jurisdiction over the Community may further stipulate minimum slab elevations for both house and garage. For a building permit to be issued, the proposed finished floor (minimum slab) elevation must be included in the application. An as-built certified survey of the final slab elevation must be submitted along with the final document package.

#### **D. Primary Exterior Materials**

The number of different **primary** materials on the exterior walls of a home shall be limited to three. A primary material is defined as a material used on more than 30% of the exterior front or side elevations' wall surfaces. Permitted materials shall include:

|                |                                                                                                                                                                                                                                                                                                          |
|----------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <i>Brick:</i>  | "wood mold" type modular brick is preferred; no wire cut brick. "King & Queen size" bricks are acceptable- Acceptable color range includes mid-range colors and buff tones. Bright and highly contrasting colors are discouraged other than for use as detail such as in a cornice, pediment or archway. |
| <i>Mortar:</i> | natural colors; some contrasting colors maybe used to accent sections of the exterior                                                                                                                                                                                                                    |
| <i>Stone:</i>  | should be laid up in dominantly horizontal courses and not applied in a two-dimensional 'flagging like" or "peanut brittle" appliqué fashion                                                                                                                                                             |
| <i>Stucco:</i> | sand float finish or light texture is preferred; heavily textured stucco is prohibited.                                                                                                                                                                                                                  |

*Wood or wooden-appearance* Hardi-plank, or cementitious siding, ship lap, lap board, shingle and board & batten cladding may be used, and when used, traditional wood details are required. Where used, wood shall be a minimum Grade of #2 and shall be stained or primed and painted sufficiently to protect the material from dry rot and other forms of deterioration caused by inadequate protection or deficient construction or detailing.

All vertical joint transitions between differing exterior wall materials shall only terminate on an inside corner, such corner being a minimum of 1' deep. Horizontal material transitions may be terminated by a change of plane or a trim detail consistent in proportion to other trim details on the front elevation of the home. Exceptions include rear walls, wainscoting, and second floor transitions implementing a separation detail board. Consideration will be given the use of metal siding for the Townhomes if the overall design theme expresses the material in combination with stone, simulated stone, stucco or concrete.

#### **E. Exterior Colors**

The number of dominant colors for the main elevation materials on the exterior walls of a home is limited to two. Permitted colors include white, warm tones, muted primaries, pastels and other restrained colors. Contrasting but complementary accent colors may include blues, yellows, browns, warm grays, greens and reds. High contrasting accent colors should not be primary colors but rather muted tones should be used.

#### **F. Roofs and Roof Materials**

Primary roofs may be either dominantly hip or gable type construction with a maximum pitch of, unless otherwise approved by the RDRC, 8 in 12, and a minimum pitch of 6 in 12, unless a Prairie Style or Craftsman Style hip roof design is chosen. In this case, a 5 in 12 predominant sloped roof may be used when the elevation design is "true" to the massing and details of the aforementioned design styles. Secondary roofs throughout Woodshore may have a pitch ranging from 4 in 12 to 8 in 12. Simple roof shapes are preferred. Complex roof forms with elaborate ornamentation and multiple ridges and peaks should be avoided. Gable or shed type roofs are permitted for porches, roof transitions and accessory buildings. Where used as a shed porch roof, and depending upon materials used, a 3 in 1 pitch may be acceptable.

Notwithstanding the foregoing, the RDRC shall have the authority to approve roof pitches different from that contained in the preceding sentence for structures it deems to be ancillary to the main dwelling, including but not limited to, eaves, overhangs for patios, and similar structures.

Appropriate roofing materials include standing seam metal (factory-finished steel, terne or copper), metal shingle, clay or concrete tile, or slate. Composition shingles must be architectural grade (245# for fiberglass or 345# for asphalt shingles), must simulate the appearance of a wood or slate shingle, and should be of the gray or "weathered wood", deep charcoal gray, green color

range. The roof material must be in keeping with the architectural style of the house. Acceptable roof materials include composite shingles (as herein described), metal, slate and simulated slate. The builders must coordinate the brand and color of shingle to be used with each other and with final approval by the RDRC for uniformity throughout Woodshore.

Where used, composite shingles should be “algae resistant treated”. Composite shingles are preferred to be color constant rather than dappled. The RDRC will consider other colors if and when additional colors are presented by the Homebuilder and if in the opinion of the RDRC, are consistent with the goals of these RDGs and the desired community architectural character.

All exposed metal roof accessories (such as flashing, plumbing vents, roof flashing, attic ventilators, metal chimney caps, skylight curbs, gutters, solar collector frames, etc.) shall match the color of the roofing material or appropriate material. The preferred location of all stack vents and attic ventilators is on the rear slopes of roofs.

## **G. Garages**

Garages may be attached or detached. Each garage, or combination thereof, must be sized to accommodate at least two automobiles. On the 90’ and 100’ lots, where feasible, garage doors not directly facing the fronting street are preferred.

More than two garage doors are not allowed in the same plane when facing the street. The third door must occur in a secondary building plane, offset by a minimum of three feet from the primary front wall of the garage, to avoid a continuous uninterrupted wall of three or more garage doors. No more than three car width openings are allowed in an elevation. Recessing the garage doors to create a shadow-line is required for all garage doors which face the street, on lots 80’ and greater in width. Where possible, where a three-car garage is proposed, a tandem garage bay is preferred to three cars “in line.”

Unless otherwise approved by the HOA, garage doors must have an acceptable “carriage style” appearance; i.e., they must be designed to appear to be two single doors. The door(s) can either be made of wood or the surface treated to simulate wood.

Two 8’-9’ wide doors are preferred to one 16’-18’ wide door.

Garage doors should be either the same color as the body of the house, a slightly darker shade of the same color, or a matching trim color. They should be neither too light nor too dark to call attention to themselves, particularly if they are very visible from the street.

Auto courts are encouraged. Garage doors not visible to a road right-of-way may be double garage doors, made of materials other than wood, and do not need to simulate wood.



## **H. Windows and Doors**

Unless otherwise approved by the RDRC, windows should be proportioned with heights approximately twice the width, excepting accent and special function windows. Burglar bars are not permitted on the exterior of structures and if installed on the interior, should not be visible from the exterior of the structure. Windows and doors should reflect restraint in the number of types, style, and sizes. Windows may not have either reflective glass, foil or tinting.

## **I. Shutters**

Unless otherwise approved by the RDRC, when used, shutters are to be of equal size to the openings they are intended to protect. The material of the shutters should be consistent with the other exterior materials used on the house.

## **J. Solar Collectors**

The location and design of all solar collectors are subject to approval. Collectors that can be seen from a public right of way, public open space/park or adjoining property must be of a flat profile and conform to the slope of the roof.

## IV. EXTERIOR LIGHTING

The philosophy of exterior lighting, where used, is to minimize the impact to neighbors and to every reasonable extent possible, preserve the beauty of the “small town” night skies about which many residents enjoy. Exterior residential lighting should convey a warm, inviting atmosphere. Care is to be taken in placement and selection of fixtures and types of light sources consistent with these RDGs. Excessive light displays are strictly prohibited while the front yard lighting should be minimal and emphasize the home entry, driveway house corner and walkways only.

Exterior Lighting Plans must be submitted with the Exterior Elevations Plan when that plan is submitted to the RDRC for Final Plan Approval. Such plans shall be submitted in a systemic manner where approval given shall apply to all lighting installations for the same home footprint. Final Plan Approval of the Exterior Elevations Plan shall be withheld until the Lighting Plan has been approved by the RDRC. The areas of the residential exteriors that are permitted to be illuminated are depicted on Exhibit “G-1”, Lighting Zones Permitted. The types of lights that are acceptable to be used in these Zones is presented on Exhibit “G-2”, Permitted Lighting Fixture Types by Lighting Zones. Specific design and manufacturer models for the lighting fixture types depicted in Exhibit “G-2” shall be submitted to the RDRC for approval.

Restrained exterior illumination of architectural features such as columns, entries, and landscaping is permitted as described in Exhibits “G-1” and “G-2” and if approved by the RDRC. The Homebuilder or Homeowner is to install and maintain lighting on individual lots in a manner to not cause distraction, nuisance or to be unsightly. Lighting should not conflict with the sight lines of pedestrians or motorists in a manner that endangers their safety and welfare.

Light sources must not *spill over* into neighboring yards or produce glare to adjoining landowners or the public rights-of-way. No lighting fixture shall be erected higher than the surrounding natural ground as described in Exhibit “G-2”. Freestanding pole lights, where permitted, shall not be mounted higher than 12’ above the finished grade of the undeveloped lot.

Ground landscape lighting or decorative fixtures must be of high quality materials and workmanship and be in scale and style with the residence. All lighting sources must be approved by the RDRC. Colored lenses, low-pressure sodium, high pressure sodium and neon lighting are not permissible. Metal halide and LED illumination sources are strongly preferred.

The responsibility to prevent and/or correct any distraction, glare, nuisance, safety, spill over, unsightliness and welfare situations caused by installed lights shall remain with the Homebuilder and/or Homeowner.

## **Appendix A: Definitions**

1. **Accent lighting:** Lighting used to emphasize or draw attention to a special object or building.
2. **Ambient light:** The general overall level of lighting in an area.
3. **Architect:** An architect licensed to practice in the State of Texas.
4. **Building Setbacks:** See Section I.A for this definition.
5. **Candlepower:** Luminous intensity expressed in candelas.
6. **Codes:** The latest edition of the Building Code, as same may be amended, and the latest edition of the Fire Code, as same may be amended, where the Fire Code has been adopted by the Committee.
7. **Collector:** A street right-of-way which provides access and circulation between major thoroughfares, and local, access, and interior streets.
8. **Color rendering:** Effect of a light source on the color appearance of objects in comparison with their color appearance under normal daylighting.
9. **Commercial Land Uses:** For the purpose of these RDGs, office, retail, specialty technical, medical, churches, schools, recreational, institutional, apartment/condominium development, and other community uses.
10. **Committee(s):** The design review entity described in Section 1.3 C.
11. **Community:** Refers to Woodshore.
12. **Community Shopping Center:** A 150,000 to 400,000 GSF center anchored by a junior department store(s) or "big box" store(s) and having a service radius of 10 miles.
13. **C&D waste:** Material produced during the construction, renovation, demolition, or deconstruction of structures. Structures include residential and commercial buildings and their infrastructure. Components of C&D waste typically include concrete, wood, metals, gypsum wallboard, asphalt, and roofing material. For the purposes of this Guide, materials are C&D waste if they would normally be hauled away for disposal.
14. **Convenience Shopping Center:** A 5,000 to 30,000 gross square feet of floor area in buildings (GSF) strip center without a major anchor that is comprised primarily of convenience stores such as Stop N Go or a gas station.
15. **Covenants:** The restrictive covenants described in Section 1.3 A and a part of the "Standards".

16. **Cut off angle, of a luminaire:** The angle, measured up from the nadir (i.e. straight down), between the vertical axis and the first line of sight at which the bare source (the bulb or lamp) is not visible.
17. **Cutoff fixture:** A fixture that provides a cutoff (shielding) of the emitted light.
18. **Declarant:** DHK Clute, LLC, and it's successors and assigns.
19. **Developer:** DHK Clute, LLC.
20. **Easement** - See Section 3.2 D for the definition.
21. **Engineer:** A structural, mechanical, electrical, and plumbing civil engineer licensed to practice in the State of Texas.
22. **Footcandle:** Illuminance produced on a surface one foot from a uniform point source of one candela.
23. **Forest Preserve(s):** Strips or fragments of land between Property Lines and Paving Setback lines wherein existing natural vegetation must be retained, augmented, and/or reforested to the requirements of the RDRC.
24. **Full-cutoff fixture:** A fixture that allows no emission above a horizontal plane through the fixture.
25. **Glare:** Intense or overly-bright light that can be a nuisance to surrounding Homeowners.
26. **Governing Standards:** Including, but not limited to the sum of all restrictions, covenants, guidelines promulgated by the Committees for the purposes of maintaining values and developing a harmonious and sustainable Community.
27. **Homebuilder:** The person(s), company, or other entity authorized by the Developer to engage in the construction of new homes in Woodshore.
28. **Homeowner:** Any person(s) or other entity, which owns a home constructed in Woodshore.
29. **Illuminating Engineering Society of North America (IES or IESNA):** The professional society of lighting engineers, including those from manufacturing companies, and others professionally involved in lighting.
30. **International Dark-Sky Association (IDA, Inc.):** A non-profit organization whose goals are to build awareness of the value of dark skies, and of the need for quality lighting.
31. **Improvement:** The placement, construction, alteration or repair of any improvement to the land, including but not limited to, adding or removing square footage to or from a structure, painting or repainting a structure, or in any way altering the grading, drainage, construction, size, shape, or physical appearance of the exterior of a structure. Improvements may be either permanent, that is, affixed to the ground, or temporary.

- 32. **Landscape Architect:** A landscape architect licensed to practice in the State of Texas.
- 33. **Landscape Pocket:** Those areas on a site where additional landscaping is required by the HOA as a condition of plan approval.
- 34. **Light pollution:** Any adverse effect of manmade light. Often used to denote urban sky glow.
- 35. **Light trespass:** Light falling where it is not wanted or needed. Spill light. Obtrusive light.
- 36. **Lumen:** Unit of luminous flux; the flux emitted within a unit solid angle by a point source with a uniform luminous intensity of one candela. One footcandle is one lumen per square foot. One lux is one lumen per square meter.
- 37. **Native species:** Plant species that are naturally present in a particular area. The definition of “area” in this context varies widely as some consider a State boundary, some use an ecological boundary definition while others a regional definition. The usage herein is intended to be by geographic region which often crosses multiple ecological habitat types.
- 38. **Neighborhood Shopping Center:** A 50,000 to 150,000 GSF center comprised primarily of convenience stores and anchored by a supermarket and/or drugstore and having a service radius of three (3) to five (5) miles.
- 39. **Owner:** The owner(s) of record title to the fee interest in any tract of land whether or not the owner(s) resides on the land.
- 40. **Porous paving:** Masonry or cementitious paving containing a high percentage of voids within the material itself that enables water to “pass through” the paving material into the substrate below the paving.
- 41. **Property Line(s):** See Section 3.3 for this definition.
- 42. **Regional Shopping Center:** A 400,000 GSF or larger center containing one (1) or more full-line department stores.
- 43. **Semi-cutoff fixture:** A fixture that provides some cutoff, but less than a full-cutoff fixture.
- 44. **Sensitive unprotected habitat:** A natural site condition, not subject to regulatory control, that when developed around will exhibit aesthetic and/or biological degradation, otherwise avoidable when designed or planned with the intent to minimize impacts.
- 45. **Setback(s):** See Section 3.3 for this definition.
- 46. **Single Family Dwelling:** Single Family Dwellings may be attached or detached (townhouses, duplexes or one or two story condominiums).
- 47. **Specimen tree:** A tree whose diameter when measured at breast height (DBH), is within 15% of a tree of the same geographic area.

48. **Street Right-of-Way or ROW:** The area, both paved and unpaved, which has been dedicated to the county or other public body for public access, drainage, and utility purposes.
49. **Woodshore Homeowners' Association (HOA):** The non-profit corporation established by the CCRs to affect a particular area; the HOA enforces the CCRs and provides community services.

EXHIBITS





# Exhibit A-3

## Woodshore - Trail & Sidewalk Plan

### LEGEND

-  Proposed Lake Overlook
-  Community Portal Access
-  7'-8' City of Clute Trail
-  6' Village Trail by Developer
-  6' Village Trail by Builder
-  5' Neighborhood Trail By Developer
-  5' Neighborhood Trail By Builder
-  4' Sidewalk by Developer
-  4' Sidewalk by Builder



### Disclaimer:

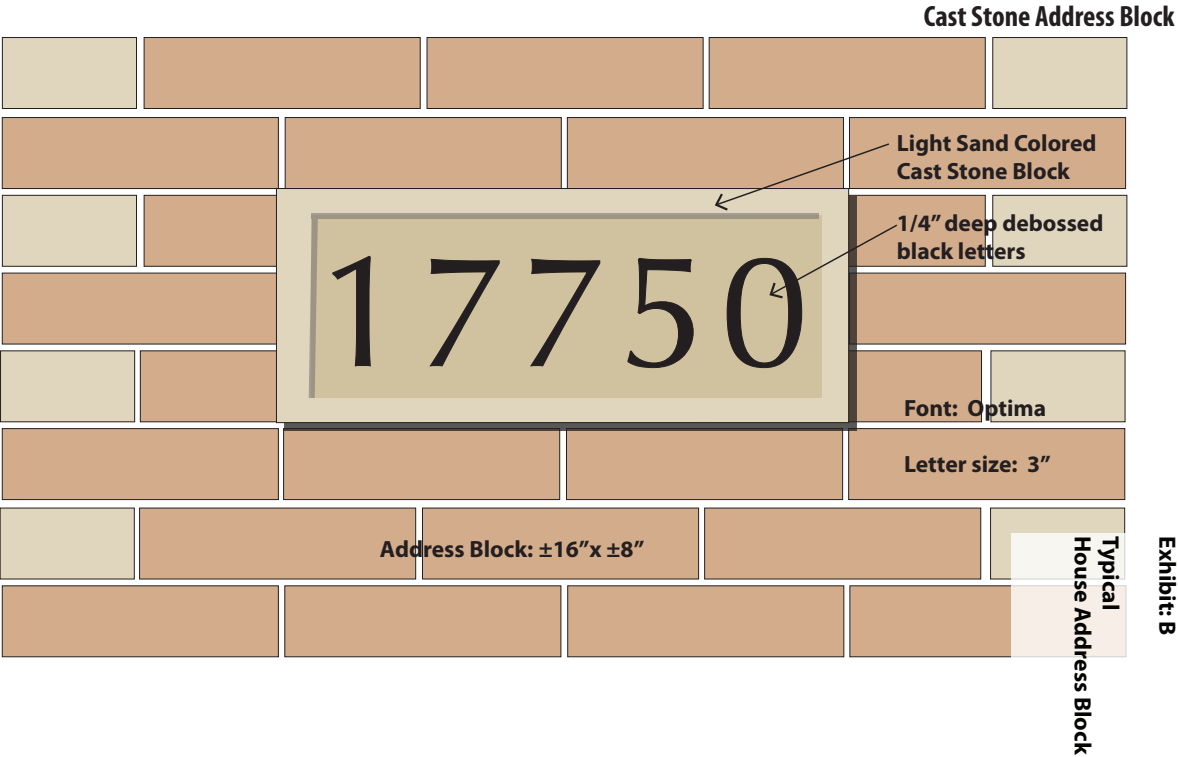
This information represents an artist's rendering of some of the proposed land uses and street pattern of the Woodshore Community. In an effort to improve the community, the developer, in its sole discretion and acting within the permitted variances/flexibility of the underlying PUD Ordinance of the City of Clute, and without notice, may change this rendering and the street pattern and land uses shown on the plan. The particular timing and sequence of construction of these land uses is unknown and this rendering shall not be construed as a representation regarding the actual construction time frame. Nothing contained herein shall be construed as either an express or implied representation or warranty by the developer.



### FENCE LEGEND

- \* To be maintained by HOA

This information represents an artist's rendering of some of the proposed land uses and street pattern of the Woodshore Community. In an effort to improve the community, the developer, in its sole discretion and acting within the permitted variances/flexibility of the underlying PUD Ordinance of the City of Clute, and without notice, may change this rendering and the street pattern and land uses shown on the plan. The particular timing and sequence of construction of these land uses is unknown and this rendering shall not be construed as a representation regarding the actual construction time frame. Nothing contained herein shall be construed as either an express or implied representation or warranty by the developer.



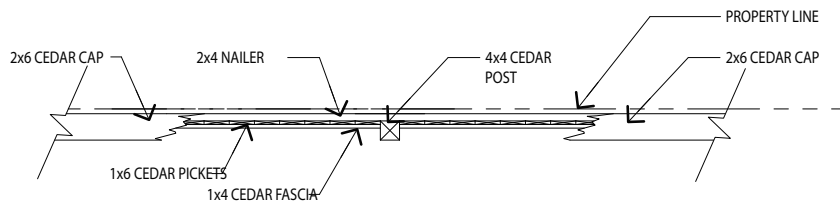
**Exhibit “C”: Bulkhead Design**

**TBD**

**Exhibit “D”: Dock Design**

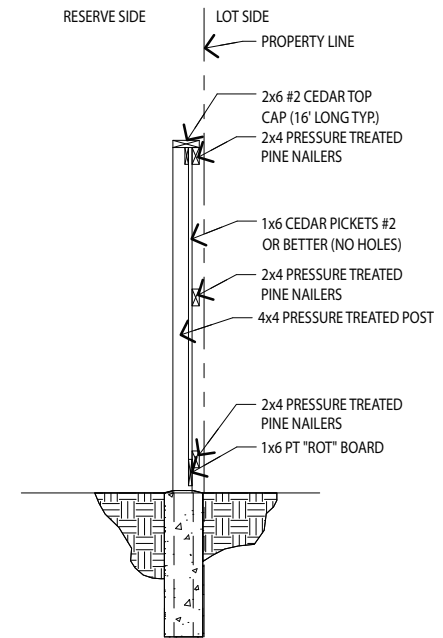
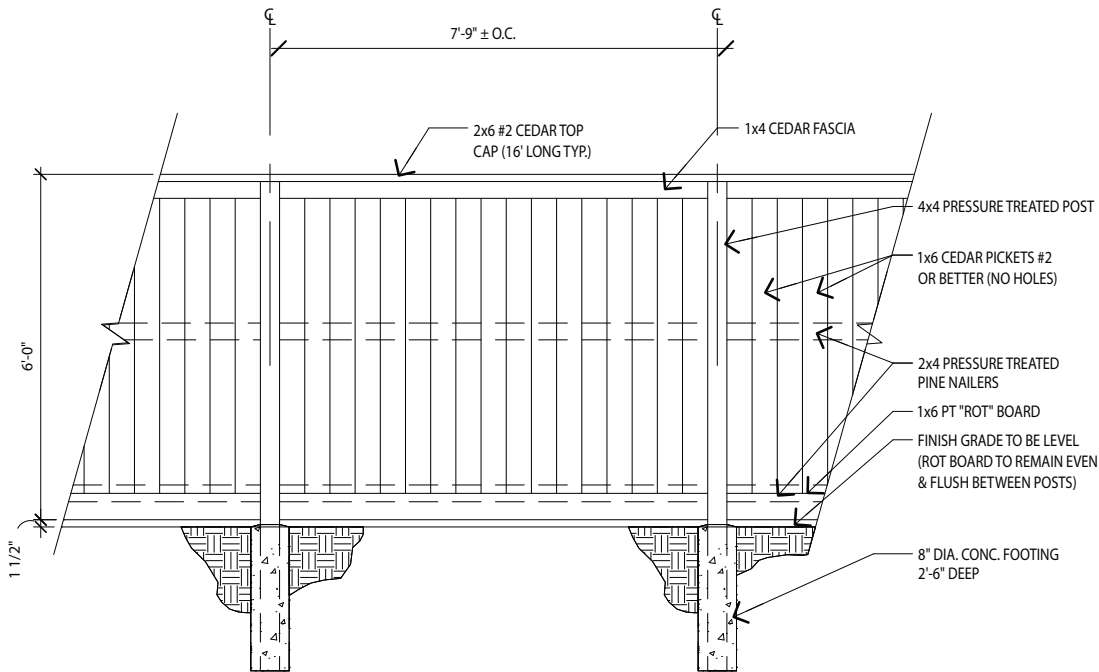
**TBD**

---



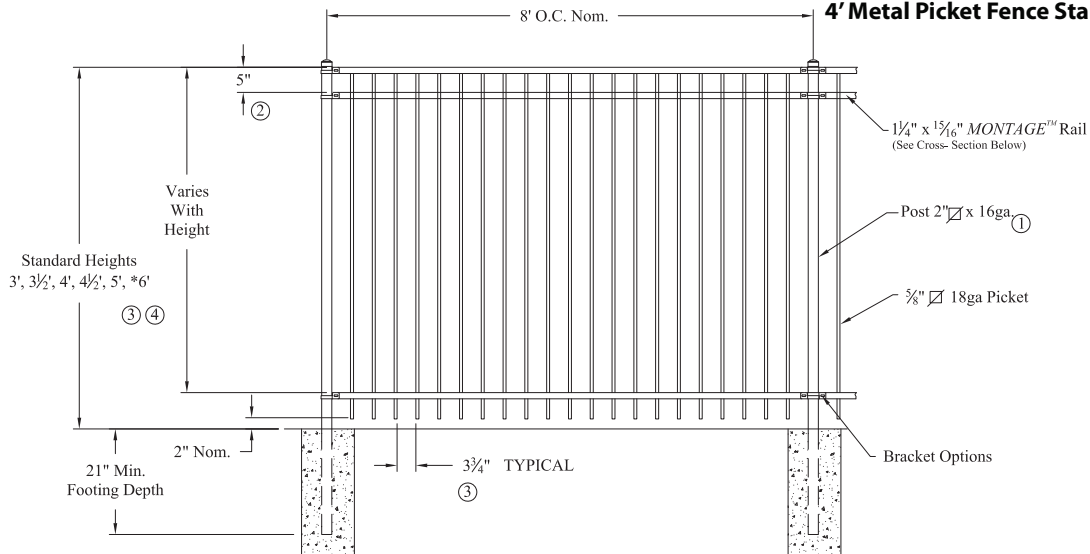
- NOTES:
1. ALL POSTS ARE TO BE PRESSURE TREATED PINE
  2. ALL NAILERS TO BE PRESSURE TREATED PINE
  3. ALL PICKETS ARE TO BE 1"x6"x6' CEDAR #2 OR BETTER (NO HOLES)
  4. NO WASTE MATERIAL IS PERMITTED
  5. ALL FASTENERS ARE TO BE ALUMINUM RING SHANK
  6. AFTER FENCE IS CONSTRUCTED APPLY ONE COAT OF:

~~Sherwin Williams Cablin Brown~~  
 Sherwin Williams Cabin Brown  
 Solid Body Exterior Stain - SW3031



**Exhibit E-2A**  
**Side Street and Front Wood Fence Details**  
**Type 2 Fence**

**Exhibit E-2-b  
Rear Yard Type 3 Fence  
4' Metal Picket Fence Standard**

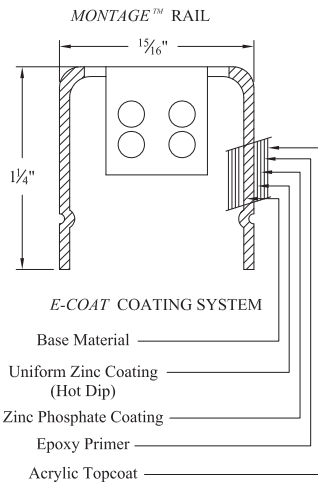


**NOTES:**

- 1.) Post size depends on fence height and wind loads. See MONTAGE™ specifications for post sizing chart.
- 2.) Third rail required for *Double Rings*.
- 3.) Available in 3" air space and/or Flush Bottom on most heights.
- 4.) Three rails required for 6' tall.

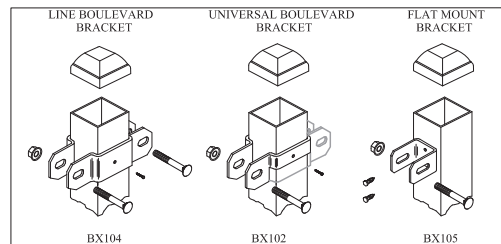
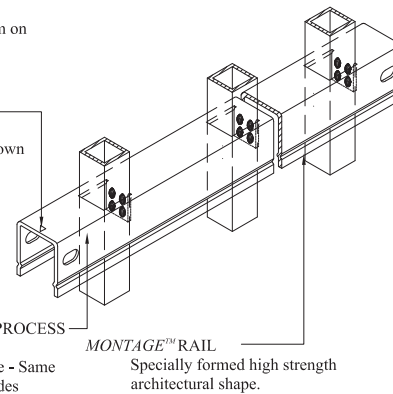
**RAKING DIRECTIONAL ARROW**

Welded panel can be raked 45° over 8' with arrow pointing down grade.



**PROFUSION™ WELDING PROCESS**

No exposed welds,  
Good Neighbor profile - Same appearance on both sides



**RESIDENTIAL WELDED STEEL PANEL  
PRE-ASSEMBLED**

Values shown are nominal and not to be used for installation purposes. See product specification for installation requirements.

RMISO

|                                         |               |                     |  |
|-----------------------------------------|---------------|---------------------|--|
| Title: <b>MONTAGE MAJESTIC 2/3-RAIL</b> |               |                     |  |
| DR: CI                                  | SH: 1 of 1    | SCALE: DO NOT SCALE |  |
| CK: ME                                  | Date: 7-19-11 | REV: c              |  |

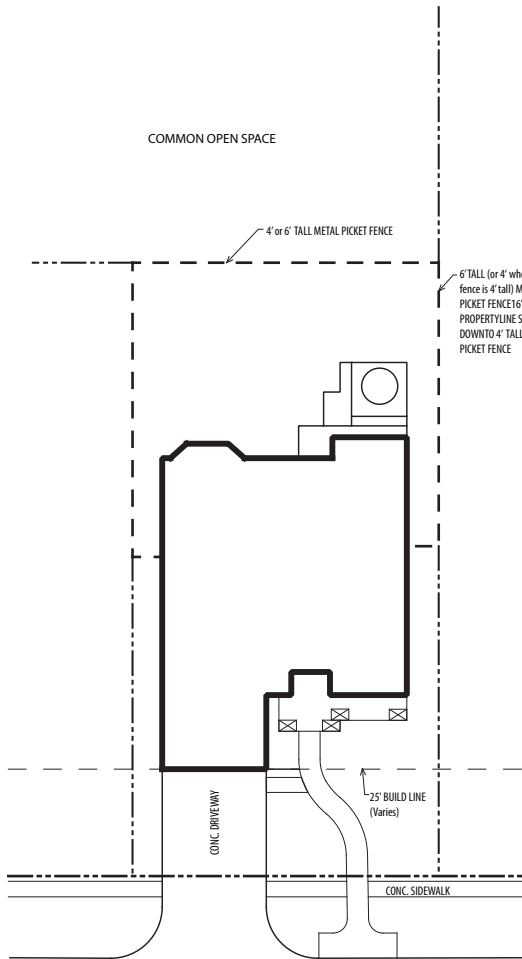


**AMERISTAR®**

1555 N. Mingo  
Tulsa, OK 74116  
1-888-333-3422  
www.ameristarfence.com

## SITE LAYOUT

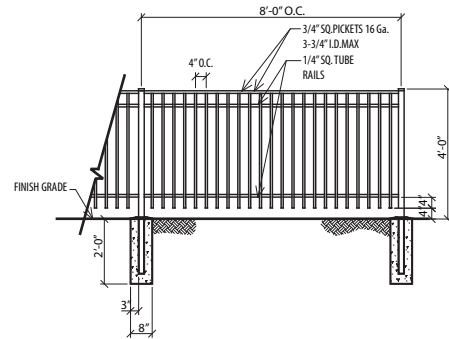
Common Open Space Lots



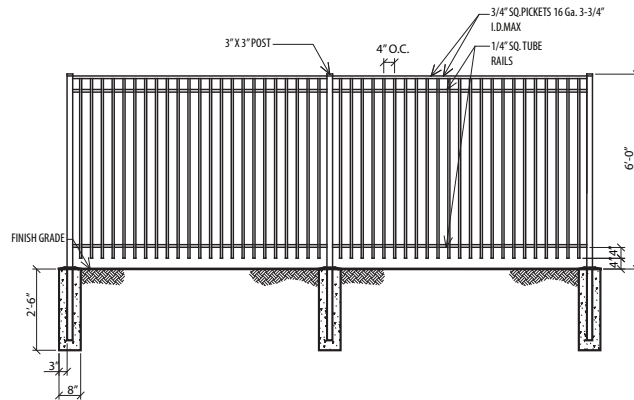
## Exhibit E-3 TYPE 2&3 FENCE DETAIL

### SITE LAYOUT

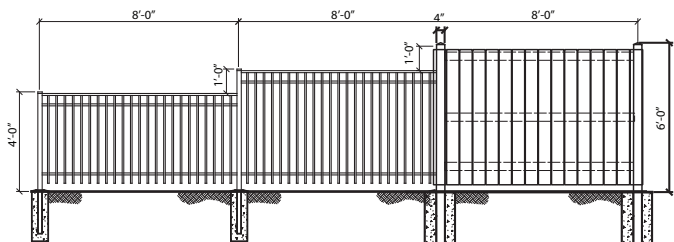
Fences



4' Metal Picket Common Open Space Fence



6' Side Lot Metal Picket Fence



4' to 6' Fence Transition

Wood Fence

Woodshore Residential Guidelines

**Exhibit F**  
**Approved Plant List**

**Approved Tree Species**

**Ornamental Trees**

**Common Name**

|                             |                       |
|-----------------------------|-----------------------|
| Bauhinia mexicana           | Mexican Orchid Tree   |
| Bumelia celastrina          | Tropical Buckthorn    |
| Cercis canadensis           | Redbud                |
| Chionanthus virginicus      | Fringe Tree           |
| Comus florida               | Dogwood               |
| Cordia boissieri            | Mexican Olive         |
| Crataegus marshallii        | Parsley Hawthorn      |
| Diospyros virginiana        | Eastern Persimmon     |
| Hamameys Virginiana         | Witch Hazel           |
| Ilex vomitoria              | Treeform Yaupon Holly |
| Lagerstroemia indica        | Crepe Myrtle          |
| Malus Spp.                  | Crabapple             |
| Pistacia texana             | Texas Pistache        |
| Prunus mexicana             | Mexican Plum          |
| Pyrus calleryana bradfordii | Bradford Pear         |
| Sophora spp.                | Mountain Laurel       |

Ornamental Trees must have a caliper of no less than 1.5 inches measured at a point 3 feet above ground. Minimum tree height is 6' above ground.

**Canopy Trees**

|                          |                       |
|--------------------------|-----------------------|
| Acer Rubrum "Drummondii" | Swamp Maple           |
| Betula nigra             | River Birch           |
| Carya illinoensis        | Pecan                 |
| Celtis laevigata         | Southern Hackberry    |
| Fraxinus americana       | White Ash             |
| Fraxinus pennsylvanica   | Green Ash             |
| Juglans nigra            | Black Walnut          |
| Liquidambar styraciflua  | Sweetgum              |
| Liriodendron tulipifera  | Tulip Tree            |
| Magnolia grandiflora     | Southern Magnolia     |
| Ostrya virginiana        | American Hop Hornbeam |
| Pinus taeda              | Loblolly Pine         |
| Platanus occidentalis    | American Sycamore     |
| Quercus glaucoides       | Lacey Oak             |
| Quercus laurifolia       | Laurel Oak            |
| Quercus michauxii        | Swamp Chestnut Oak    |
| Quercus macrocarpa       | Bur Oak               |
| Quercus shumardii        | Shumard Oak           |
| Quercus texana           | Red Oak               |
| Quercus texana nuttall   | Nuttall Oak           |
| Quercus virginiana       | Live Oak              |
| Sabal Texana (Mexicana)  | Texas Sabal           |
| Taxodium distichum       | Bald Cypress          |
| Ulmus crassifolia        | Cedar Elm             |



# WOODSHORE RESIDENTIAL DESIGN GUIDELINES

## Woodshore Residential Guidelines

Platanus Mexicana\*

Mexican Sycamore\* -

\* Must be true to species and sourced at:

**Treesearch Farms**  
**7625 Alabonson**  
**Houston, TX 77088**  
**Ph: 713-937-9811**

Canopy Trees must have a caliper of no less than 3 inches measured at a point 3 feet above ground.  
Minimum tree height is 10' above ground.

**This approved list is subject to the compliance specified street tree requirements/types specified in the Exhibit E**

### **Shrubs, Dwarf Shrubs & Plants**

### **Common Name**

|                              |                    |
|------------------------------|--------------------|
| Azalea                       | Azalea             |
| Abelia grandiflora prostrata | Dwarf Abelia       |
| Berberis thunbergii          | Pigmy Barberry     |
| Bulbine frutescens           | Yellow Bulbine     |
| Dietes Bicolor               | Bicolor Iris       |
| Gardenia radicans            | Dwarf Gardenia     |
| Hesperaloe parviflora        | Red Yucca          |
| Hemerocallis                 | Day Lilly          |
| Ilex Spp.                    | Holly-Yaupon       |
| Lantana horrida              | Texas Lantana      |
| Nandina domestica nana       | Dwarf Nandina      |
| Poliomintha longifolia       | Mexican oregano    |
| Penstemon baccharifolius     | Red Penstemon      |
| Pittosporum tobira           | Dwarf Pittosporum  |
| Rosemarinus officinalis      | Rosemary           |
| Salvia leucantha             | Mexican Brush Sage |

### **Small Shrubs & Plants**

|                                  |                                  |
|----------------------------------|----------------------------------|
| Abelia Spp.                      | Abelia                           |
| Anisacanthus wrightii            | Hummingbird Bush                 |
| Aucuba japonica                  | Aucuba                           |
| Buxus Spp.                       | Boxwood                          |
| Callicarpa americana             | American Beauty Berry            |
| Chaenomeles japonica             | Flowering Quince                 |
| Gardenia Spp.                    | Gardenia                         |
| Hydrangea macrophylla            | Hydrangea                        |
| Opuntia compressa                | Lowprickly pear cactus           |
| Malvaviscus drummondii           | Turk's Cap                       |
| Opuntia engelmannii texana       | Flaming prickly pear cactus      |
| Opuntia engelmannii linguiformis | Cow's tongue prickly pear cactus |
| Opuntia leptocarpa Mackenison    | prickly pear cactus              |
| Pavonia lasiopetala              | Rock Rose                        |
| Pistacia texana                  | Texas Pistachio                  |
| Rosa "Knock out"                 | Knock out Rose                   |
| Raphiolepis indica               | Indian Hawthorne                 |
| Spiraea prunifolia               | Bridal Wreath Spirea             |
| Yucca pallida                    | Paleleaf Yucca                   |

# WOODSHORE RESIDENTIAL DESIGN GUIDELINES

## Woodshore Residential Guidelines

Yucca torreyi

Spanish Bayonet Yucca

**This approved list is subject to the compliance specified street tree requirements/types specified in the Exhibits.**

### **Medium Shrubs & Plants**

### **Common Name**

|                                  |                                  |
|----------------------------------|----------------------------------|
| Azalea indicum Indica            | Azalea                           |
| Ardisia japonica                 | Japanese Ardisia                 |
| Buddleia Spp.                    | Butterfly Bush                   |
| Camellia Spp.                    | Camellia                         |
| Crinum americanum                | Crinum Lily                      |
| Dietes vegetus                   | Butterfly Iris                   |
| Elaeagnus fruitlandi             | Silverberry                      |
| Feijoa sellowiana                | Pineapple Guava                  |
| Hemerocallis fulva               | Daylily                          |
| Hibiscus coccineus               | Texas Star Hibiscus              |
| Hibiscus syriacus                | Althea                           |
| Ilex Spp.                        | Holly-Yaupon                     |
| Ilex decidua                     | Possumhaw                        |
| Jasminum Spp.                    | Jasmine                          |
| Lagerstroemia indica "dwarf"     | Dwarf Crepe Myrtle               |
| Leucophyllum frutescens          | Texas Sage                       |
| Ligustrum texanum                | Wax Leaf Ligustrum               |
| Liriope Spp.                     | Lily Turf                        |
| Lonicera fragrantissima          | Winter Honeysuckle               |
| Loropetalum chinensis            | Plum Delight Loropetalum         |
| Lupinus texensis                 | Bluebonnet                       |
| Lantana camara                   | Lantana                          |
| Malvaviscus drummondii           | Turk's Cap                       |
| Moraea iridoides                 | African Iris                     |
| Myrica cerifera                  | Wax Myrtle                       |
| Ophiopogon jaburan               | Giant Liriope                    |
| Ophiopogon japonicum             | Monkey grass                     |
| Opuntia compressa                | Low prickly pear cactus          |
| Opuntia engelmannii texana       | Flaming prickly pear cactus      |
| Opuntia engelmannii linguiformis | Cow's tongue prickly pear cactus |
| Opuntia leptocarpa               | Mackenson prickly pear cactus    |
| Osmunda cinnamomea               | Cinnamon Fern                    |
| Osmunda regalis                  | Royal Fern                       |
| Rivina humilis                   | Rouge Plant. Pigeon-berry        |
| Rosa spp.                        | Red Knockout Rose                |
| Sabal Palmetto                   | Cabbage Palm                     |
| Saururus cernuus                 | Lizardtail                       |
| Sedum Spp.                       | Sedum                            |
| Verbena peruviana                | Peruvian Verbena                 |
| Vinca minor and major            | Vinca                            |
| Woodwardia aereolata             | Chain Fern                       |

### **Grasses Lawn and Ornamental**

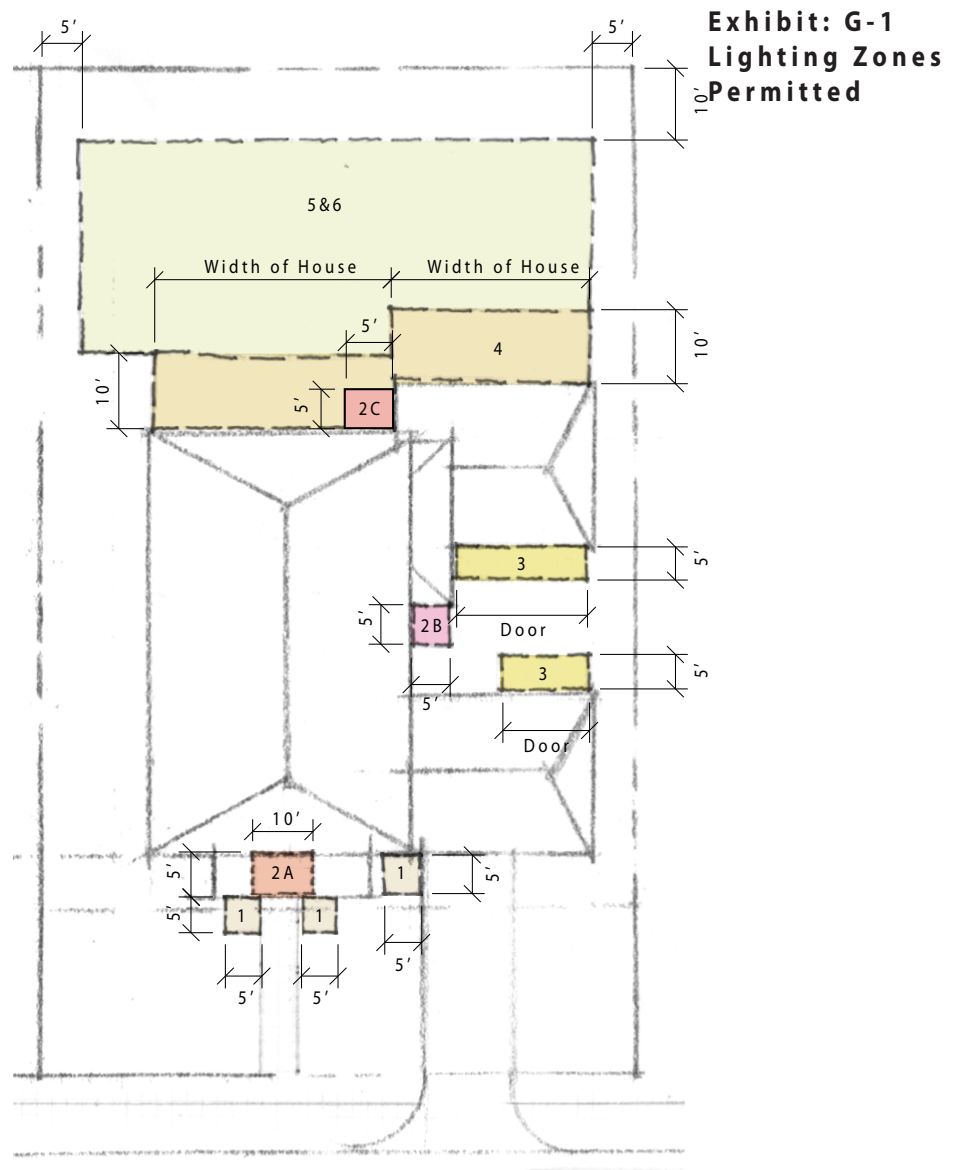
|                     |                |
|---------------------|----------------|
| Cynodon dactylon    | Common Bermuda |
| Buchloe dactyloides | Buffalo Grass  |
| Bouteloua gracilis  | Blue Grama     |

## WOODSHORE RESIDENTIAL DESIGN GUIDELINES

### Woodshore Residential Guidelines

|                          |                            |
|--------------------------|----------------------------|
| Bouteloua curtipendula   | Sideoats Grama             |
| Miscanthus sisenensis    | Morning Light Maiden Grass |
| Miscanthus sisenensis    | Cosmopolitan Miscanthus    |
| Muhlenbergia capillaris  | Gulf Muhly                 |
| Muhlenbergia lindheimeri | Lindheimer Muhly           |
| Schizachyrium scoparium  | Little Bluestem            |
| Stipa tenuissima         | Mexican Feather Grass      |

**This approved list is subject to the compliance specified street tree requirements/types specified in the Exhibits.**



## Lighting Zones - Permitted

NTS

|           |         |                |            |
|-----------|---------|----------------|------------|
| <b>1</b>  | Zone 1  | <b>3</b>       | Zone 3     |
| <b>2A</b> | Zone 2A | <b>4</b>       | Zone 4     |
| <b>2B</b> | Zone 2B | <b>5&amp;6</b> | Zone 5 & 6 |
| <b>2C</b> | Zone 2C |                |            |

# WOODSHORE RESIDENTIAL DESIGN GUIDELINES








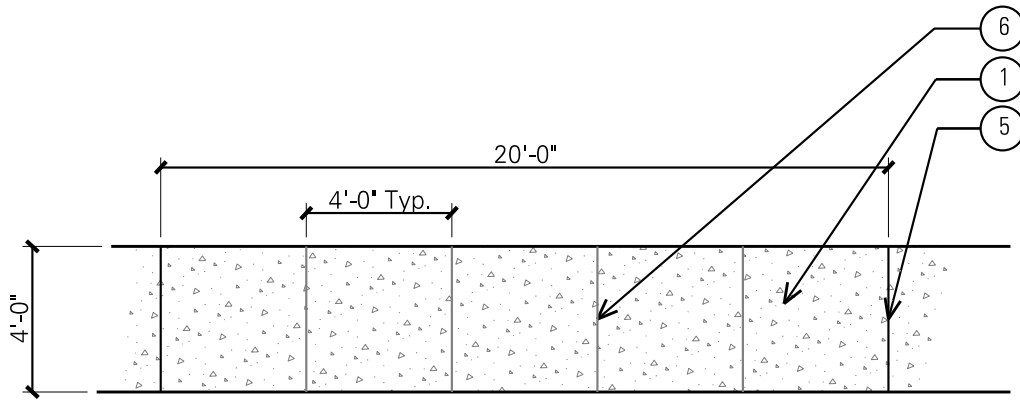
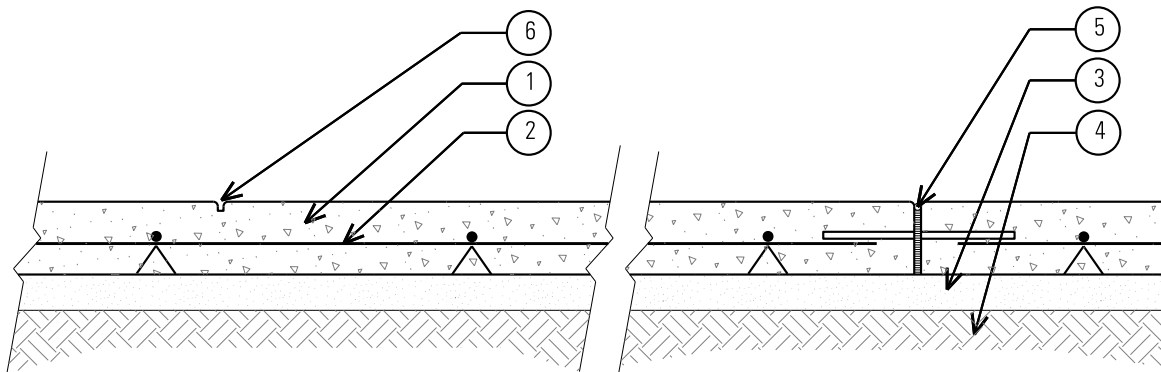
| Permitted Lighting Fixture Types by Lighting Zones                                                                                                                |                                                                                   |                                                                                   |                                                                                   |                                                                                   |                                                                                     |                                                                                     |                                                                                     |                                     |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------|-----------------------------------------------------------------------------------|-----------------------------------------------------------------------------------|-----------------------------------------------------------------------------------|-------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------|-------------------------------------|
| Type                                                                                                                                                              | Example Light Types Permitted                                                     |                                                                                   |                                                                                   |                                                                                   |                                                                                     |                                                                                     |                                                                                     |                                     |
|                                                                                                                                                                   | Path Light                                                                        | Soffit Light, Can                                                                 | Sconce                                                                            | Uplights                                                                          | Bollard light                                                                       | Down light, Can                                                                     | Underwater                                                                          |                                     |
| Max. Mounting Height by Fixture Type                                                                                                                              | 30"                                                                               | 10'                                                                               | 9'                                                                                | 18-24"                                                                            | 42"                                                                                 | 10'                                                                                 | N.A.                                                                                |                                     |
|                                                                                                                                                                   |  |  |  |  |  |  |  |                                     |
| 1                                                                                                                                                                 | Front Entry walk & Driveway                                                       | <input checked="" type="checkbox"/>                                               | <input type="checkbox"/>                                                          | <input type="checkbox"/>                                                          | <input type="checkbox"/>                                                            | <input checked="" type="checkbox"/>                                                 | <input type="checkbox"/>                                                            | <input type="checkbox"/>            |
| 2                                                                                                                                                                 | a Front Entry door                                                                | <input checked="" type="checkbox"/>                                               | <input checked="" type="checkbox"/>                                               | <input checked="" type="checkbox"/>                                               | <input type="checkbox"/>                                                            | <input type="checkbox"/>                                                            | <input type="checkbox"/>                                                            | <input type="checkbox"/>            |
|                                                                                                                                                                   | b Side entry door                                                                 | <input checked="" type="checkbox"/>                                               | <input checked="" type="checkbox"/>                                               | <input checked="" type="checkbox"/>                                               | <input type="checkbox"/>                                                            | <input type="checkbox"/>                                                            | <input type="checkbox"/>                                                            | <input type="checkbox"/>            |
|                                                                                                                                                                   | c Rear entry door                                                                 | <input checked="" type="checkbox"/>                                               | <input checked="" type="checkbox"/>                                               | <input checked="" type="checkbox"/>                                               | <input type="checkbox"/>                                                            | <input type="checkbox"/>                                                            | <input type="checkbox"/>                                                            | <input type="checkbox"/>            |
| 3                                                                                                                                                                 | Garage door(s)                                                                    | <input type="checkbox"/>                                                          | <input checked="" type="checkbox"/>                                               | <input type="checkbox"/>                                                          | <input type="checkbox"/>                                                            | <input type="checkbox"/>                                                            | <input type="checkbox"/>                                                            | <input type="checkbox"/>            |
| 4                                                                                                                                                                 | Rear landscape                                                                    | <input checked="" type="checkbox"/>                                               | <input type="checkbox"/>                                                          | <input type="checkbox"/>                                                          | <input checked="" type="checkbox"/>                                                 | <input checked="" type="checkbox"/>                                                 | <input type="checkbox"/>                                                            | <input type="checkbox"/>            |
| 5                                                                                                                                                                 | Deck & pool                                                                       | <input checked="" type="checkbox"/>                                               | <input type="checkbox"/>                                                          | <input type="checkbox"/>                                                          | <input type="checkbox"/>                                                            | <input checked="" type="checkbox"/>                                                 | <input type="checkbox"/>                                                            | <input checked="" type="checkbox"/> |
| 6                                                                                                                                                                 | Accessory structures                                                              | <input type="checkbox"/>                                                          | <input checked="" type="checkbox"/>                                               | <input type="checkbox"/>                                                          | <input type="checkbox"/>                                                            | <input type="checkbox"/>                                                            | <input checked="" type="checkbox"/>                                                 | <input type="checkbox"/>            |
| Notes:                                                                                                                                                            |                                                                                   |                                                                                   |                                                                                   |                                                                                   |                                                                                     |                                                                                     |                                                                                     |                                     |
| 1 All lighting shall be shielded to prevent spill over into adjoining property or public right-of-way                                                             |                                                                                   |                                                                                   |                                                                                   |                                                                                   |                                                                                     |                                                                                     |                                                                                     |                                     |
| 2 The maximum footcandle level at a property line shall not exceed 5 footcandles                                                                                  |                                                                                   |                                                                                   |                                                                                   |                                                                                   |                                                                                     |                                                                                     |                                                                                     |                                     |
| 3 Uplighting permitted in the rear yards shall illuminate the rear elevation of the home and landscape within the zone. No glare or spillover shall be permitted. |                                                                                   |                                                                                   |                                                                                   |                                                                                   |                                                                                     |                                                                                     |                                                                                     |                                     |
| 4 The fixtures illustrated above are shown to illustrate the types of lights permitted, not the manufacturer, model or color/finishes required or permitted.      |                                                                                   |                                                                                   |                                                                                   |                                                                                   |                                                                                     |                                                                                     |                                                                                     |                                     |

Exhibit G-2  
Lighting Fixture Types Permitted by Lighting Zone

**Exhibit H-1**  
**4' Sidewalk Details**



Plan  
Not to scale



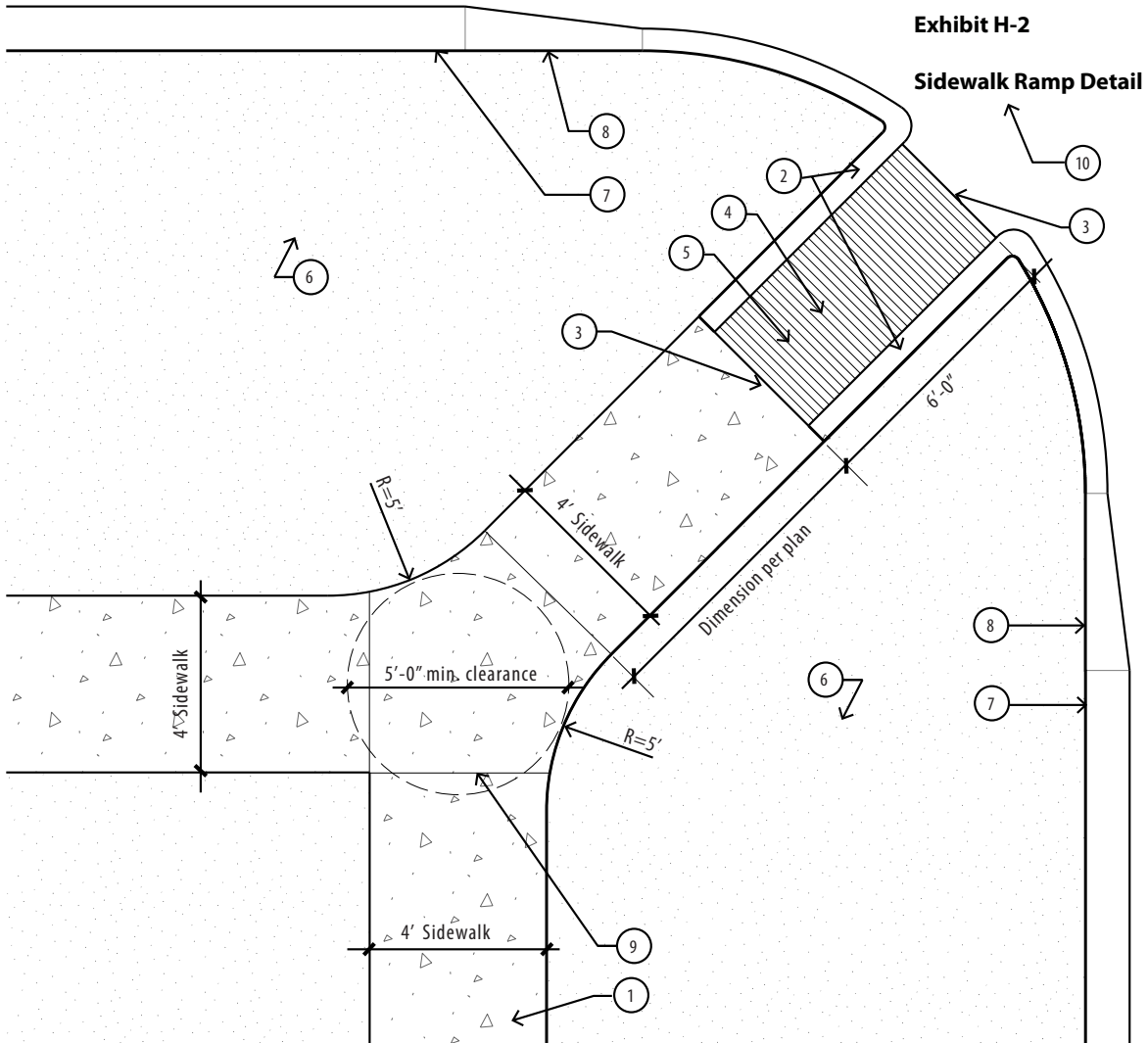
Section  
TYP. 4' WIDE WALK CONCRETE DETAIL  
Not to scale

Detail Callout Legend:

1. 4" Thick Conc. Slab, 3000 PSI.
2. #3 Rebar, 12" O.C. Each Way W/  
Rebar Support Chair Every 18" O.C.
3. 2" Thick Compacted Sand Base.
4. 90% Compacted Subgrade.
5. Expansion joint. every 20lf
6. Score joint.

Note:

All side walks to have picture  
frame tool finish 3" wide at joints  
with light broom finish  
perpendicular to direction of traffic.



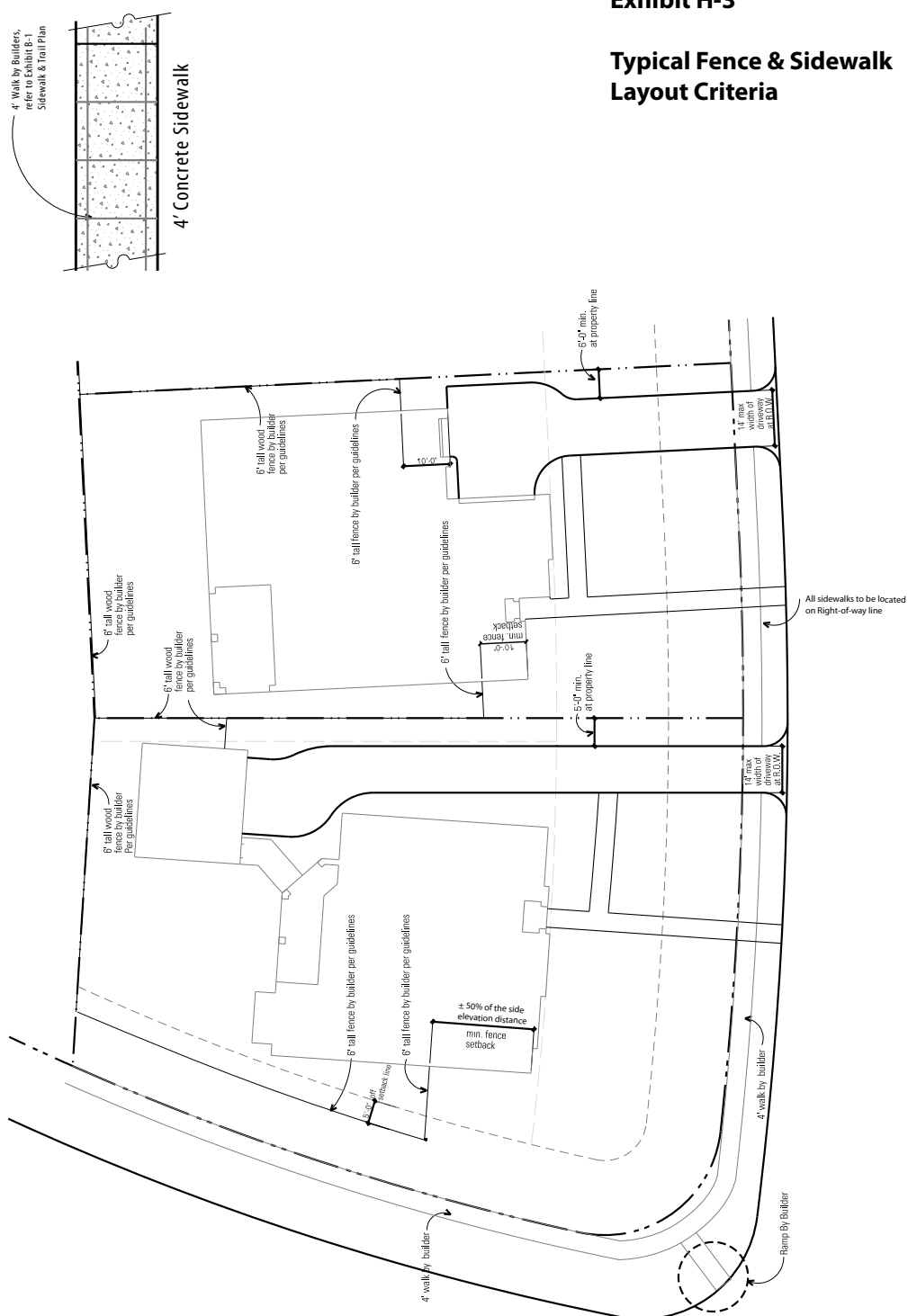
**CURB RAMP W/ NON WALKING SURFACE ADJACENT**  
Not to scale

**Detail Callout Legend:**

1. 4' Concrete Walk
2. 6" Concrete Curb
3. Expansion Joint
4. Integral Color Concrete Ramp Maximum Slope 1" per Foot  
(Color to contrast walking surface color)
5. Grooved Concrete Texture 1/4" Deep x 3/4" Wide Space at  
2" o.c. Along Entire length and as wide as ramp
6. Non Walking Surface
7. 6" or 12" "laydown" Concrete Curb
8. Transition curb for "laydown" curbs
9. Expansion or control joints, per plan
10. Roadway

**Exhibit H-3**

## Typical Fence & Sidewalk Layout Criteria





**Exhibit:H-4**

**Front Yard Setbacks & Sidewalk Location**

